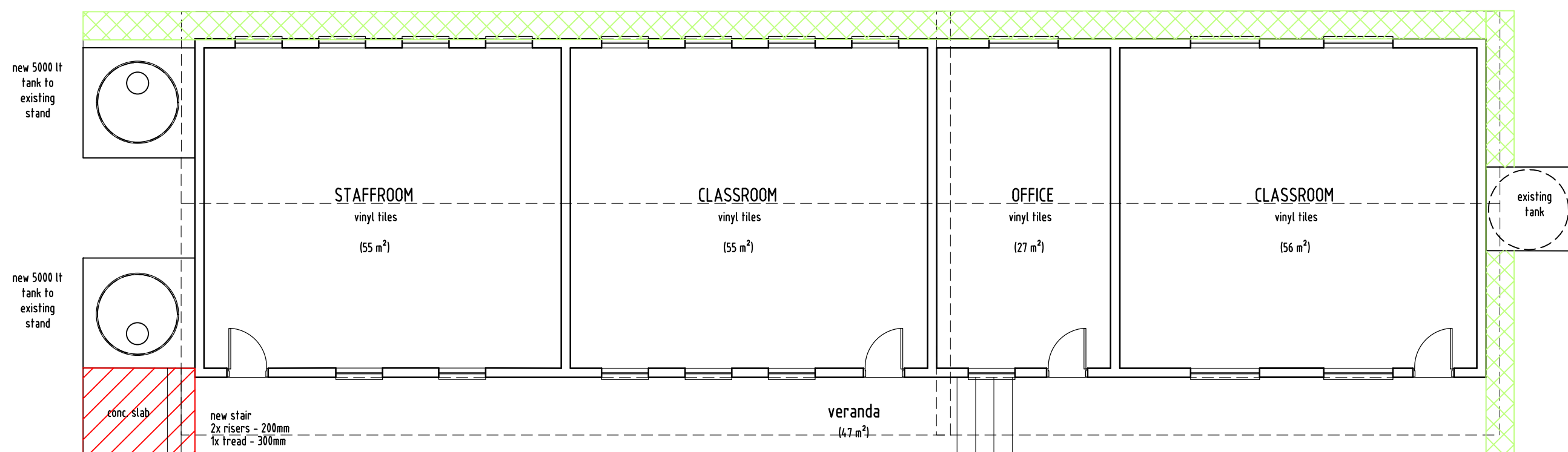


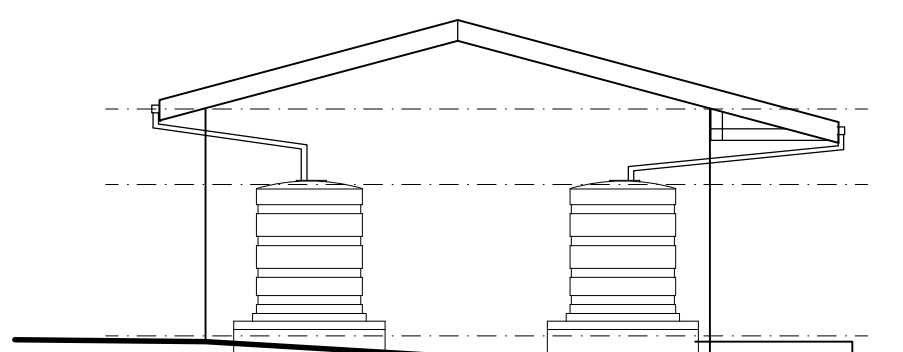
REAR ELEVATION
scale - 1:100



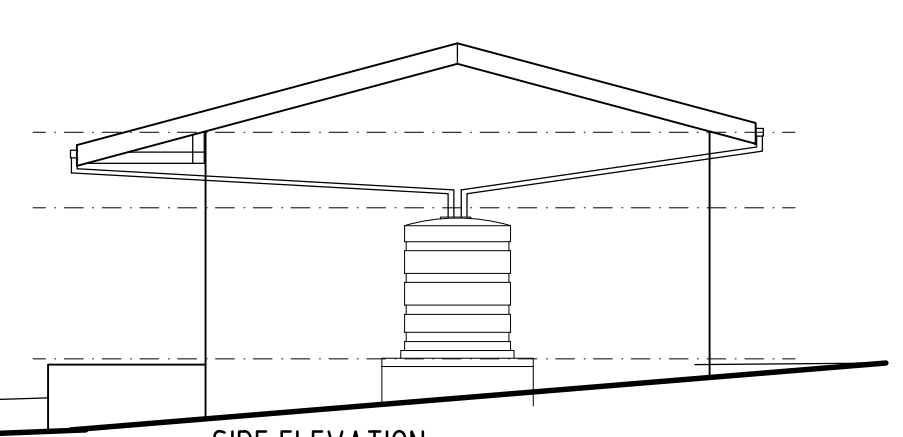
FRONT ELEVATION
scale - 1:100



PLAN
scale - 1:100



SIDE ELEVATION
scale - 1:100



SIDE ELEVATION
scale - 1:100

GENERAL SPECIFICATION NOTES:

This specified drawing to be read in conjunction with the WB20 Standard Preambles.

All TRADE NAMES to be as specified or equal and approved.

ROOF:

Corrugated metal roof sheeting with LEAK KING roofing screws. Mastec sealant at side laps. SONDOR corrugated pattern Polyclosers under ridge capping. Determine the direction of prevailing winds before laying sheets. Sheets must project minimum of 50mm beyond purlins at eaves. Holes in sheets to be drilled not punched.

Exterior roof timber ends to be painted with 2 coats ABE PROVONITE, before fixing of roofing sheets, fascias and bargeboards.

Roof pitch to be 15 degrees

BARGEBOARD:

EVERITE NUTEC fibre cement socketless bargeboards (Product No. 521-731) 275mm x 85mm.

FASCIAS:

EVERITE NUTEC medium density fibre-cement fascia boards (Product no. 041-202).

CEILING:

6mm Nutek plain ceiling board, nailed up to 50x38mm timber brandering at max. 400mm c/c. ceilings are to be finished with 1 coat approved primer and 2 coats PVA paint finish to manufacturer's specification.

WALLS:

All walls are to comply with "Part K" of the National Building Regulations.

New walls to match existing concrete block walls and to be plastered & painted. Existing walls to be properly cleaned down and prepared for repainting in accordance with the paint manufacturer's specifications

FLOORS:

new 300 X 300 X 2.0mm "Marleyflex" or similar approved fully flexible vinyl tiles laid on smooth and even floor in accordance with the manufacturers specifications

All surface beds to engineer's details

WINDOWS:

Hot dipped galvanised matching existing

BLOCK A

EXISTING BUILDING:

1. Masonry Block Construction - Plaster & paint finish.
2. Metal double pitched roof

REMOVE:

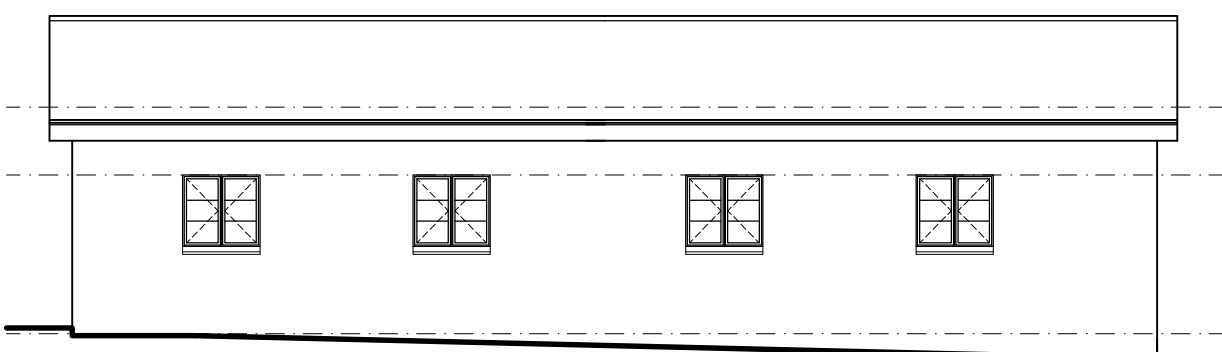
1. New metal roof and roof structure.
2. Ceilings
3. Floor screed

NEW:

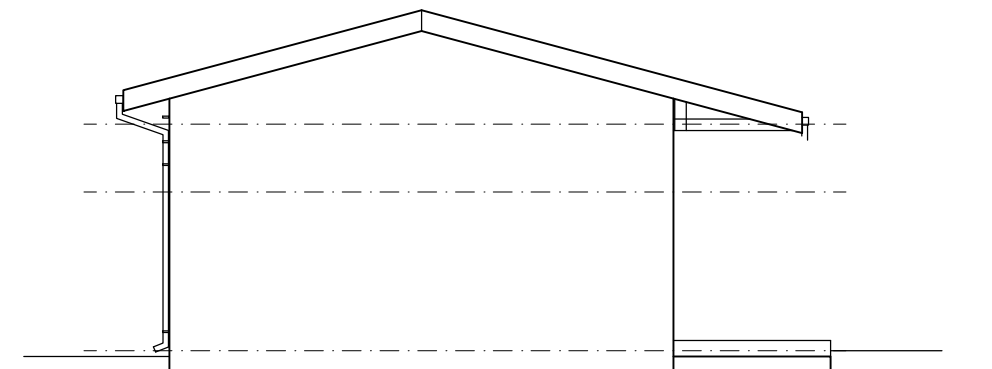
1. Corrugated Metal Roof on new roof structure by roofing specialist
2. Concrete Aprons around existing building
3. New gutters, barge boards, fascia board and rainwater down pipe
4. Replace Chalkboards & Pinboards
5. Replace 4x H/W Door
4. New vinyl tiles
5. 2x 2500lt Water Tanks on existing stands with adequate anchoring

REPAIR

1. Wash down existing wall and prepare for repainting.
2. Paint existing walls - Internally and External
3. Replace broken glass panes (approx. 10 of)



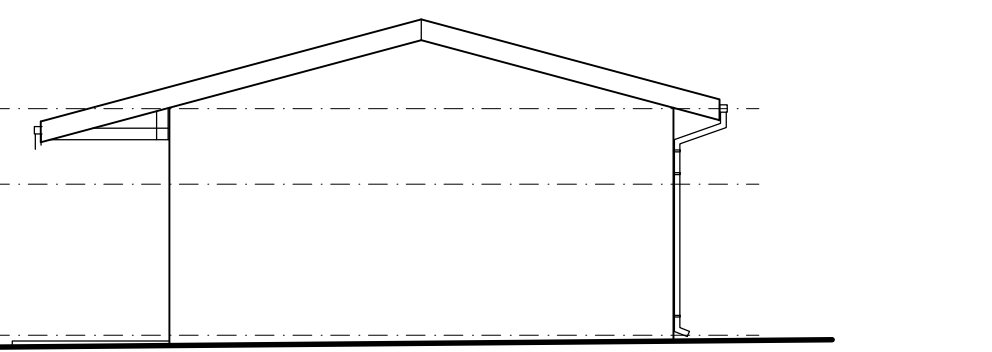
FRONT ELEVATION
scale - 1:100



SIDE ELEVATION
scale - 1:100



FRONT ELEVATION
scale - 1:100



SIDE ELEVATION
scale - 1:100

BLOCK B

EXISTING BUILDING:

1. Masonry Block Construction - Plaster & paint finish.
2. Metal double pitched roof

SCOPE OF WORK:

REMOVE:

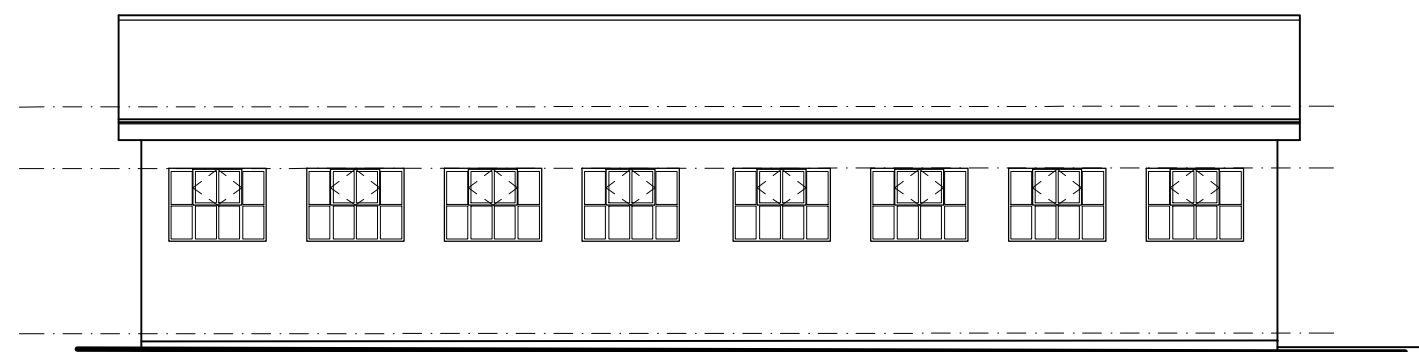
1. New metal roof and roof structure.
2. remove part of existing Verandah
3. All internal Floor screed
4. 4x windows

NEW:

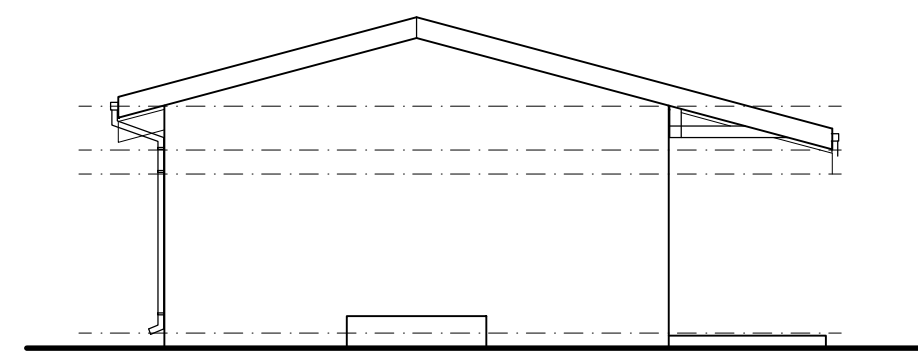
1. Corrugated Metal Roof on new roof structure by roofing specialist
2. Concrete Aprons around existing building
3. New gutters, barge boards, fascia board and down pipes
4. Replace Chalkboards & Pinboards
5. Replace 2x H/W Door
4. New vinyl tiles
5. Replace 4x broken windows - with larger windows to comply with SANS Part V

REPAIR

1. Wash down existing wall and prepare for repainting.
2. Paint existing walls - Internally and External
3. Replace broken glass panes (approx. 10 of)



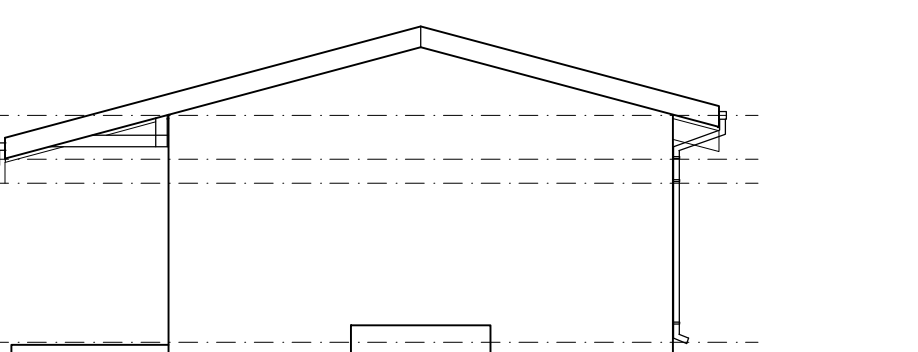
REAR ELEVATION
scale - 1:100



SIDE ELEVATION
scale - 1:100



FRONT ELEVATION
scale - 1:100



SIDE ELEVATION
scale - 1:100

BLOCK C

EXISTING BUILDING:

1. Face brick Building - Plaster & paint finish.
2. Metal roof

REMOVE:

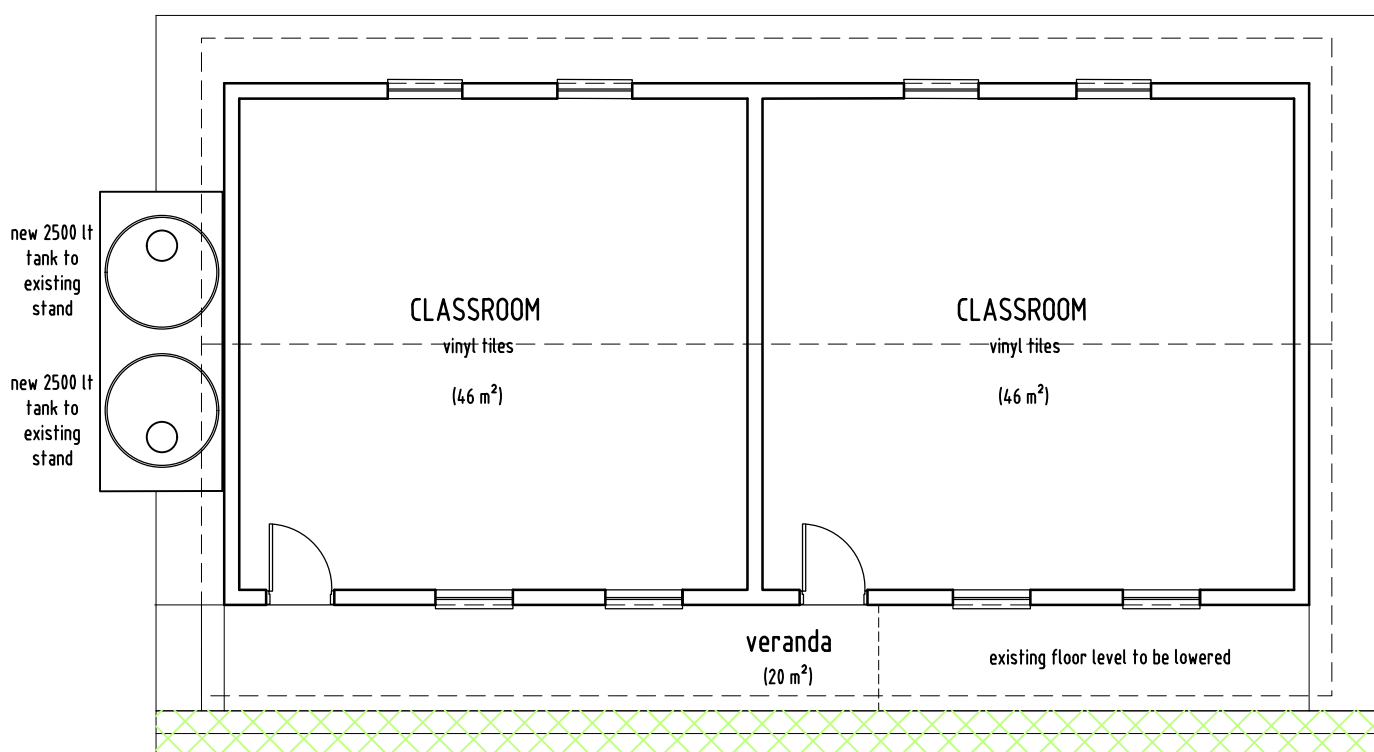
1. New metal roof and roof structure.
2. Ceiling

NEW:

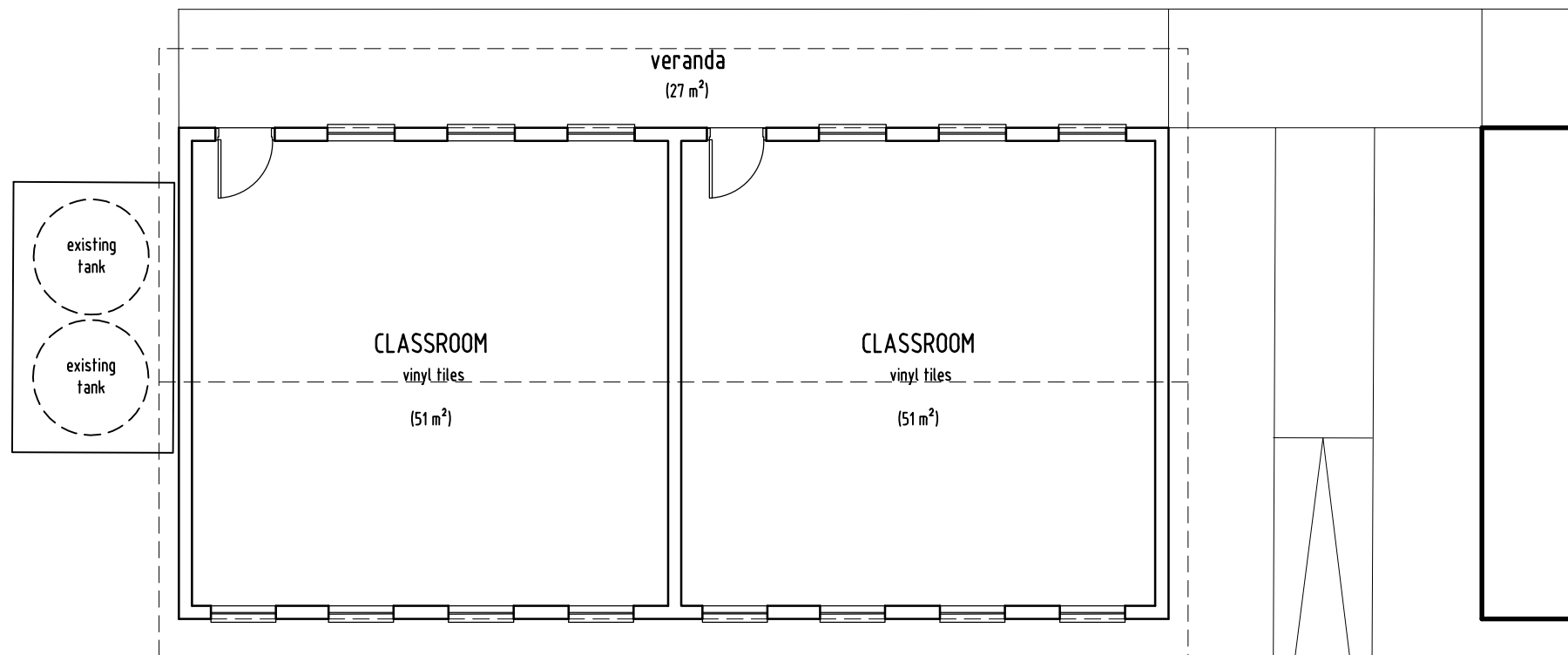
1. Corrugated Metal Roof on new roof structure by roofing specialist
2. Concrete Aprons around existing building
3. New gutters, barge boards, fascia board and rainwater down pipe
4. Replace Chalkboards & Pinboards
4. New vinyl tiles
5. Replace 2x H/W Door
6. 2x 2500lt Water Tanks on existing stands with adequate anchoring

REPAIR

1. Wash down existing wall and prepare for repainting.
2. Paint existing walls - Internally
3. Replace broken glass panes (approx. 6 of)



PLAN
scale - 1:100



PLAN
scale - 1:100

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NOTES

All bulk excavations, platforms, soil improvements, foundations and construction joints to be in accordance with the engineer's specifications, drawings and geotechnical report.

All concrete aprons and stormwater channels to be according to engineer's drawings and specifications.

Revisions

Rev. No.	Date	Description	Rev. by

Signature by the Client department

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Headway Hill 1258 Lever Road,
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CONSULTANT

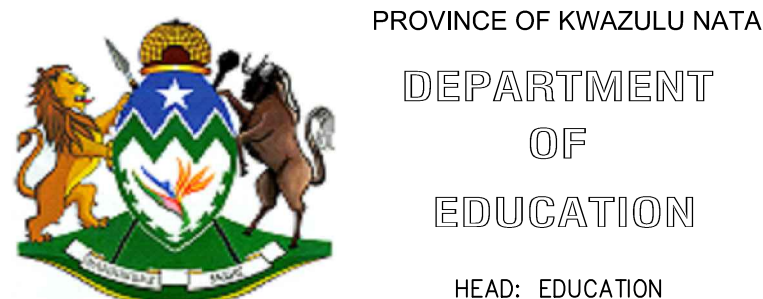
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Engineering, GIS & Project Management
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PROJECT DEPARTMENT OF EDUCATION:
ILEMBE DISTRICT MUNICIPALITY
PROPOSAL - REPAIR AND REFURBISHMENTS
AT DINGIZWE PRIMARY SCHOOL
D881 KWAHLONGWA AREA, MAPHUMULO

DRAWING DESCRIPTION

SITE DEVELOPMENT PLAN
(BLOCK A, B & C)
PLAN, SECTIONS, ELEVATION

EMIS Number - 500121508			
PROJECT No.	DRAWING No.	REVISION	
000-00	SDP002	0	
SCALE	DATE	DESIGNED/DRAWN	CHECKED
1:50 / 1:100	Sep 2022	BAS	BAS

DINGIZWE PRIMARY SCHOOL