

GENERAL SPECIFICATION NOTES:

This specified drawing to be read in conjunction with the WB20 Standard Preambles.

All TRADE NAMES to be as specified or equal and approved.

ROOF:

Corrugated metal roof sheeting with LEAK KING roofing screws. Mastic sealant at side laps. SONDOR corrugated pattern Polyclosers under ridge capping. Determine the direction of prevailing winds before laying sheets. Sheets must project minimum of 50mm beyond purlins at eaves. Holes in sheets to be drilled not punched. Exterior roof timber ends to be painted with 2 coats ABE PROVONITE, before fixing of roofing sheets, fascias and bargeboards. Roof pitch to be 15 degrees

BARGEBOARD:

EVERITE NUTEC fibre cement socketless bargeboards (Product No 521-731) 275mm x 85mm.

FASCIAS:

EVERITE NUTEC medium density fibre-cement fascia boards (Product no. 041-202).

CEILING:

6mm Nutec plain ceiling board, nailed up to 50x38mm timber bracing at max. 400mm c/c. ceilings are to be finished with 1 coat approved primer and 2 coats PVA paint finish to manufacturer's specification.

WALLS:

All walls are to comply with "Part K" of the National Building Regulations.

New walls to match existing concrete block walls and to be plastered & painted. Existing walls to be properly cleaned down and prepared for repainting in accordance with the paint manufacturer's specifications

FLOORS:

new 300 X 300 X 20mm "Marleyflex" or similar approved fully flexible vinyl tiles laid on smooth and even floor in accordance with the manufacturer's specifications

WINDOWS:

Hot dipped galvanised matching existing

BLOCK A

EXISTING BUILDING:

1. Masonry Block Construction - Plaster & paint finish.
2. Metal double pitched roof

SCOPE OF WORK:

REMOVE:

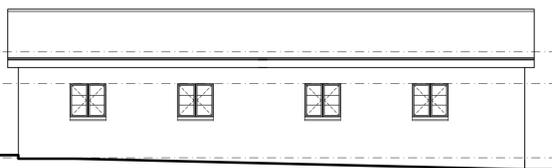
1. New metal roof and roof structure.
2. Ceilings
3. Floor screed

NEW:

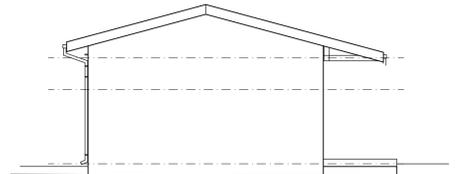
1. Corrugated Metal Roof on new roof structure by roofing specialist
2. Concrete Aprons around existing building
3. New gutters, barge boards, fascia board and rainwater down pipe
4. Replace Chalkboards & Pinboards
5. Replace 4x H/W Door
4. New vinyl tiles
5. 2x 2500lt Water Tanks on existing stands with adequate anchoring

REPAIR

1. Wash down existing wall and prepare for repainting.
2. Paint existing walls - Internally and External
3. Replace broken glass panes (approx. 10 of)



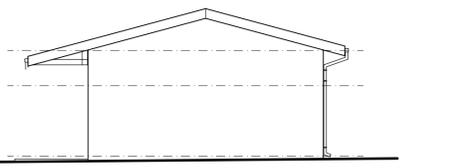
FRONT ELEVATION scale - 1:100



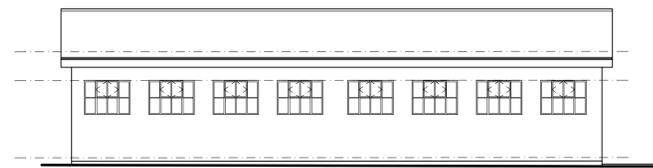
SIDE ELEVATION scale - 1:100



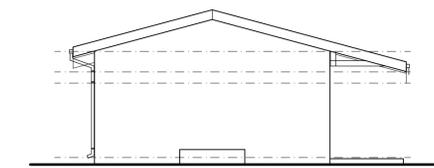
FRONT ELEVATION scale - 1:100



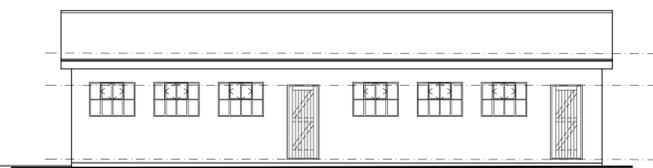
SIDE ELEVATION scale - 1:100



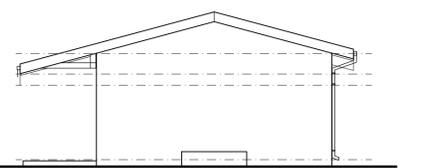
REAR ELEVATION scale - 1:100



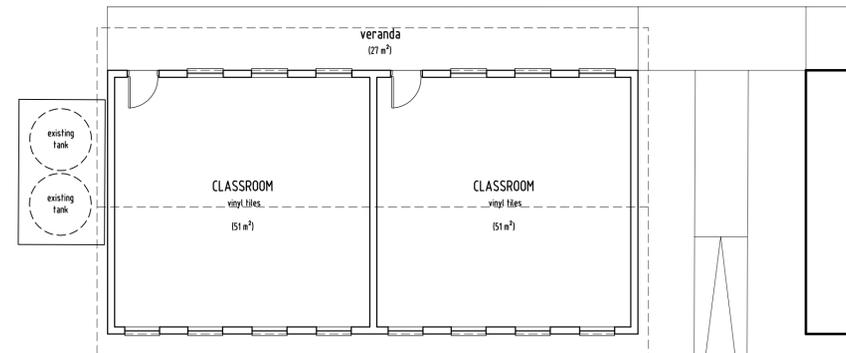
SIDE ELEVATION scale - 1:100



FRONT ELEVATION scale - 1:100



SIDE ELEVATION scale - 1:100



PLAN scale - 1:100

BLOCK B

- EXISTING BUILDING:**
1. Masonry Block Construction - Plaster & paint finish.
 2. Metal double pitched roof

SCOPE OF WORK:

REMOVE:

1. New metal roof and roof structure.
2. remove part of existing Verandah
3. All internal Floor screed
4. 4x windows

NEW:

1. Corrugated Metal Roof on new roof structure by roofing specialist
2. Concrete Aprons around existing building
3. New gutters, barge boards, fascia board and down pipes
4. Replace Chalkboards & Pinboards
5. Replace 2x H/W Door
4. New vinyl tiles
5. Replace 4x broken windows - with larger windows to comply with SANS Part V

REPAIR

1. Wash down existing wall and prepare for repainting.
2. Paint existing walls - Internally and External
3. Replace broken glass panes (approx. 10 of)

BLOCK C

- EXISTING BUILDING:**
1. Face brick Building - Plaster & paint finish.
 2. Metal roof

SCOPE OF WORK:

REMOVE:

1. New metal roof and roof structure.
2. Ceiling

NEW:

1. Corrugated Metal Roof on new roof structure by roofing specialist
2. Concrete Aprons around existing building
3. New gutters, barge boards, fascia board and rainwater down pipe
4. Replace Chalkboards & Pinboards
4. New vinyl tiles
5. Replace 2x H/W Door
6. 2x 2500lt Water Tanks on existing stands with adequate anchoring

REPAIR

1. Wash down existing wall and prepare for repainting.
2. Paint existing walls - Internally
3. Replace broken glass panes (approx. 6 of)

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ALL DIMENSIONS ARE INDICATED IN MILLIMETRES AND MUST BE CONTROLLED ON SITE. THIS DRAWING MUST NOT BE SCALED. ONLY FIGURED DIMENSIONS MAY BE USED.

NOTES
All bulk excavations, platforms, soil improvements, foundations and construction joints to be in accordance with the engineer's specifications, drawings and geotechnical report.
All concrete aprons and stormwater channels to be according to engineer's drawings and specifications.

Revisions			
Rev. No.	Date	Description	Rev. by

Signature by the Client department

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PROVINCE OF KWAZULU NATAL
DEPARTMENT OF EDUCATION
HEAD: EDUCATION

PROJECT **DEPARTMENT OF EDUCATION - ILEMBE DISTRICT MUNICIPALITY PROPOSAL - REPAIR AND REFURBISHMENTS AT DINGIZWE PRIMARY SCHOOL D881 KWALONGWA AREA, MAPHUMULO**

DRAWING DESCRIPTION
SITE DEVELOPMENT PLAN (BLOCK A, B & C) PLAN, SECTIONS, ELEVATION

EMIS Number - 500121508			
PROJECT No.	DRAWING No.	REVISION	
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SCALE	DATE	DESIGNED/DRAWN	CHECKED
1:50 / 1:100	Sep 2022	BAS	BAS

DINGIZWE PRIMARY SCHOOL