

Scope of Works as per Stage 2 Assessment Report:
BLOCK A:
TO BE DEMOLISHED.

Scope of Works as per Stage 2 Assessment Report:
BLOCK B1:
TO BE DEMOLISHED.

Scope of Works as per Stage 2 Assessment Report:
BLOCK B2 - STOREROOM:
- Entire roof is damaged. Remove sheeting & trusses and replace with new including gutters, fascia & barge boards and downpipes, to specialist's detail.
- Remove all ceilings and cornices and replace with new to match, including all skimming and painting. Light fittings and electrical cables to be reused where possible, where not possible, to be replaced if necessary.
- Timber entrance doors and frames in a bad condition. Remove and replace with similar.
- Windows in a bad condition. Remove and replace with new windows in a similar design.
- Install new shelving / cupboards for storage, detailed design to be carried out to explore options for optimising and installing new shelving depending on usage.

Scope of Works as per Stage 2 Assessment Report:
BLOCK C1 - STOREROOM:
- Entire roof is damaged. Remove sheeting & trusses and replace with new including gutters, fascia & barge boards and downpipes, to specialist's detail.
- Remove all ceilings and cornices and replace with new to match, including all skimming and painting. New light fittings and electrical cables to be installed according to Electrical Engineer's specifications.
- Replace 1 x broken window glazing panel.
- Existing shelving insufficient for needs. Remove and install new shelving / cupboards for storage, detailed design to be carried out to explore options for optimising and installing new shelving depending on usage.
- Corrosion to door frames, sand off as much rust, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing.
- Timber door leaves in a poor condition. Rub down, prime and re- varnish. Install new door ironmongery including handles.
- Damaged brickwork – replace with similar and make good.
- Install new floor finishes & skirtings.

Scope of Works as per Stage 2 Assessment Report:
BLOCK C2 - CLASSROOMS:
- Entire roof is damaged. Remove sheeting & trusses and replace with new including gutters, fascia & barge boards and downpipes, to specialist's detail.
- Remove all ceilings and cornices and replace with new to match, including all skimming and painting. Light fittings and electrical cables to be reused where possible, where not possible, to be replaced if necessary.
- Exposed electrical cabling to side elevation facing road to be concealed within conduits.
- New 1m high balustrade with intermediate rails at 100mm or less to be installed along walkway edges where there are significant height differences.
- Mould on walls in kitchen to cleaned off and walls to be painted with an anti bacterial interior paint.
- Painted walls in classrooms in a poor condition. All internal painted portions of walls to be rubbed down, primed and repainted.
- Internal floor finishes deteriorating – to be removed, once structural work is complete, replace all internal floor finishes including skirtings.
- Corrosion to door frames and window frames, sand off as much rust, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing.
- Timber door leaves in a poor condition. Rub down, prime and re- varnish. Install new door ironmongery including handles.
- Deteriorating window sills – rub down, prime and repaint.
- Broken and damaged cupboard doors in classrooms to be repaired.

Scope of Works as per Stage 2 Assessment Report:
BLOCK D - CLASSROOMS:
TO BE DEMOLISHED.

Scope of Works as per Stage 2 Assessment Report:
BLOCK E - ADMIN:
- Entire roof is damaged. Remove sheeting & trusses and replace with new including gutters, fascia & barge boards and downpipes, to specialist's detail.
- Remove all ceilings and cornices and replace with new to match, including all skimming and painting. Light fittings and electrical cables to be reused where possible, where not possible, to be replaced if necessary.
- Brickwork at top of perimeter walls appear loose – replace bricks with similar and ensure best practice / make good.
- Replace 1 x broken window glazing.
- Corrosion / deterioration to door & window frames, burglar bars and security gates, sand off as much rust, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing.
- Replace admin block signage on side elevation with new to match.
- Leaking external water tap – rectify leaks.
- Plaster and paint all unplastered brickwork once structural damage rectification is complete.
- Remove and install new internal floor finishes & skirting to entire block.
- Informal timber wall surrounding sick room in admin office in a poor condition, this wall to be formalised with a proper partition wall which is to be skimmed and painted, including a new door with ironmongery.
- Timber doors in a poor condition. Rub down, prime and re-varnish. Install new door ironmongery including handles.
- Sanware & plumbing in a poor condition – remove and replace all. Plumbing as per wet services engineer's details.

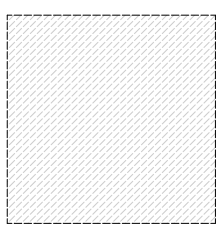
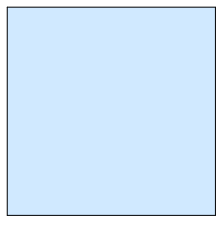
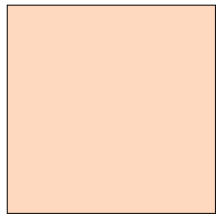
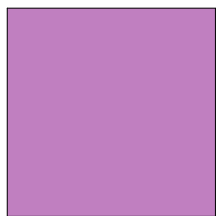
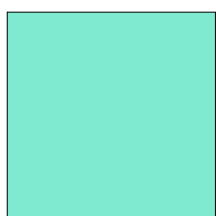
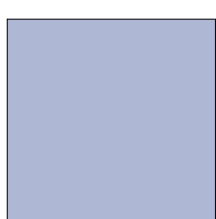
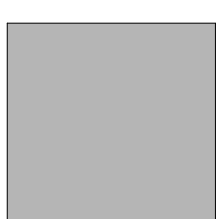


Scope of Works as per Stage 2 Assessment Report:
BLOCKS H & I - ABLUTIONS:
Structural damage as per Structural Engineer's report.
- Roof sheeting, fascia + barge boards, gutters and downpipes to all be removed and replaced.
- Overgrown vegetation in service passage between ablutions: remove overgrown vegetation.
- Corroded steel frame at entrance to service passage to be removed and replaced with new security gate.
- External and internal paintwork in a poor condition. Recommend rubbing down paint, prime and repaint.
- Internal ablutions in a poor condition, recommend the following: Remove all sanware, fittings, ceiling and doors. Install new sanware, fittings, floor finishes + skirtings, doors and ceilings with light fittings.
- Leaks noted: all plumbing to be investigated and leaks to be found and rectified. Where rectification is not possible, replace plumbing to wet services engineer's details.
- All damaged entrance doors to be removed and replaced with new.
- Burglar screens to be installed over windows to prevent access.
Any non obscure window glazing above WC's to have new vinyl film installed to provide obscurity and privacy.
- Rainwater tank on plinth and surrounding gate at service passage corroded. Recommend removing and replacing water tank with proper feeder pipes from gutters. Plinth to be repaired.

NOTES:
1. THIS DRAWING IS NOT TO SCALE AND IS NOT ACCURATE.
FINAL DIMENSIONS, LEVELS AND DATUM ARE TO BE CONFIRMED FROM THE LAND SURVEYOR'S DRAWING ONCE RECEIVED.
2. THE POSITION OF ALL NEW BUILDINGS ARE TO BE CONFIRMED ONCE THE LAND SURVEYOR'S DRAWINGS ARE RECEIVED.

NOTES:
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
2. Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
3. Do not scale this drawing.
4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.



LEGEND:

-  BUILDINGS TO BE DEMOLISHED
-  ADMINISTRATION BLOCK
-  CLASSROOM BLOCKS
-  ABLUTIONS
-  STOREROOM
-  AWNINGS / CARPORTS
-  WALKWAYS
-  FENCE LINE
-  LINE OF NEW CLASSROOM BLOCK

SITE PLAN - EXISTING BUILDINGS
SCALE - 1:200

Revisions:			
Rev No:	Date:	Description:	Rev By:
A	11/11/22	For Information Purposes Only	MM

Architect :

Name :
Signature :
Client :
Name :
Signature :



Project: CONDITION ASSESSMENT
KGAUHELO PRIMARY SCHOOL

Drawing description:
SITE DEVELOPMENT PLAN

Drawn: URBAN PLATFORM ARCHITECTS + PLANNERS (AP)
Scale: AS SHOWN ON DRAWING

FOR INFORMATION
Drawing Number: 082-KPS-100
Revision: A