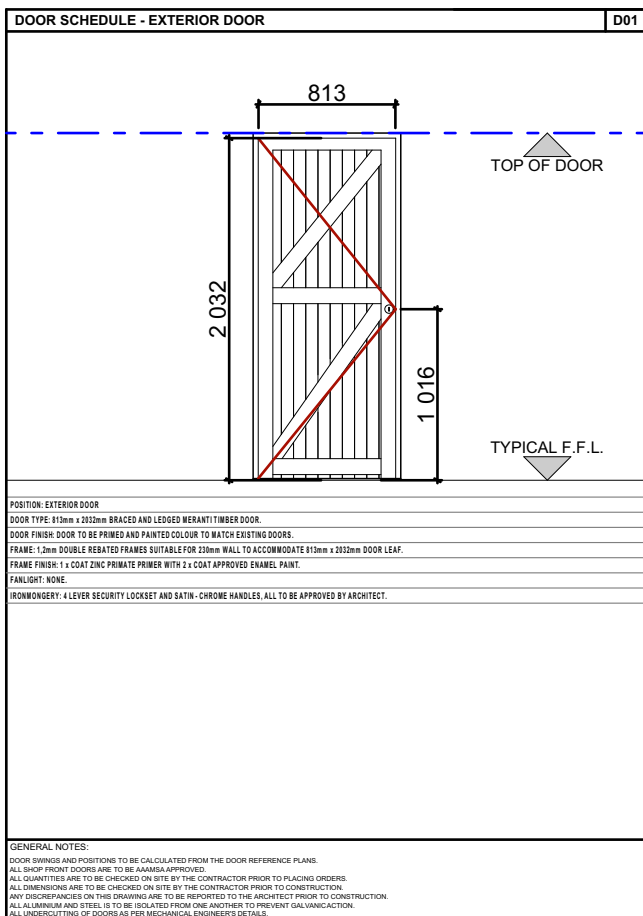


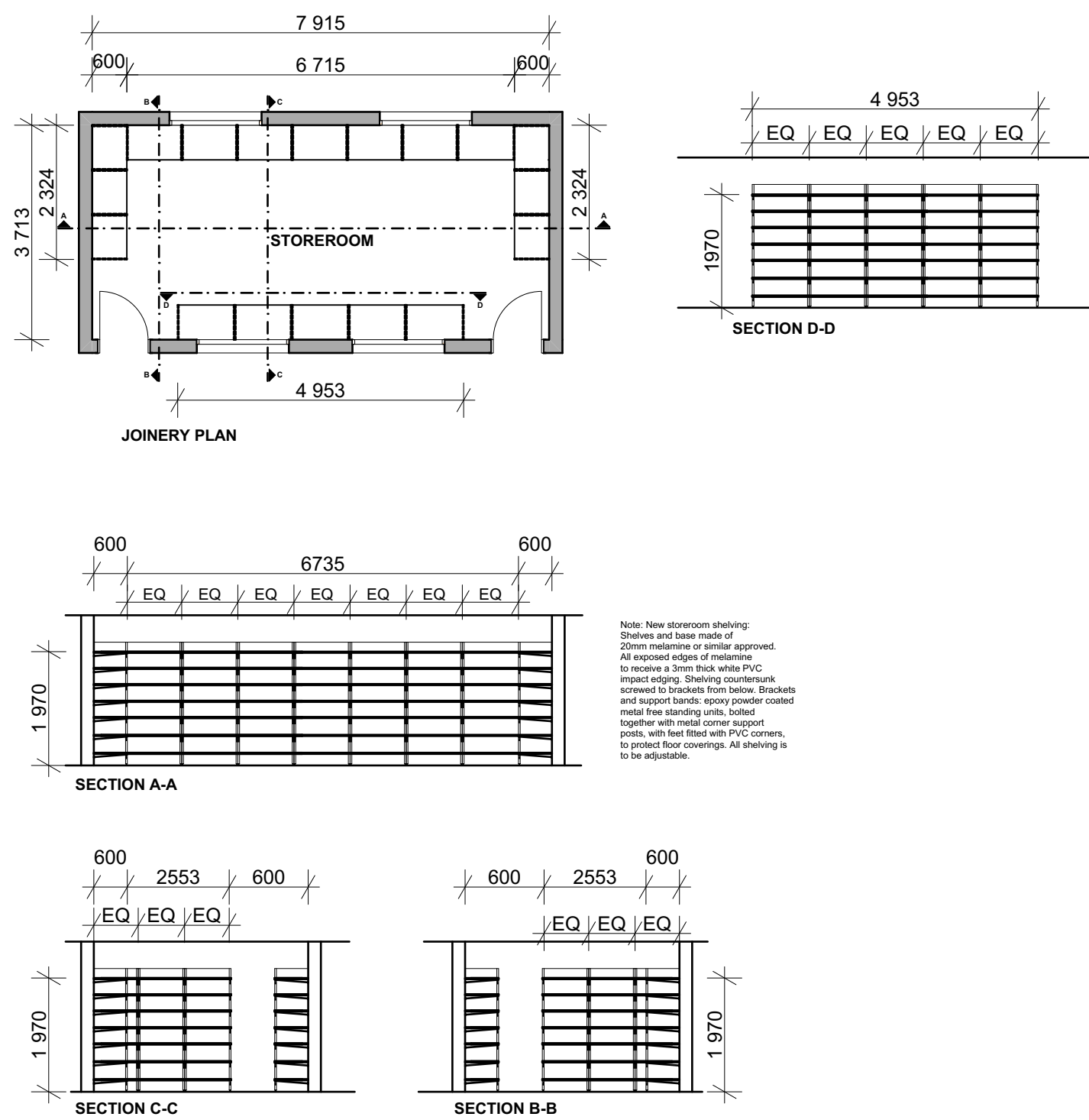
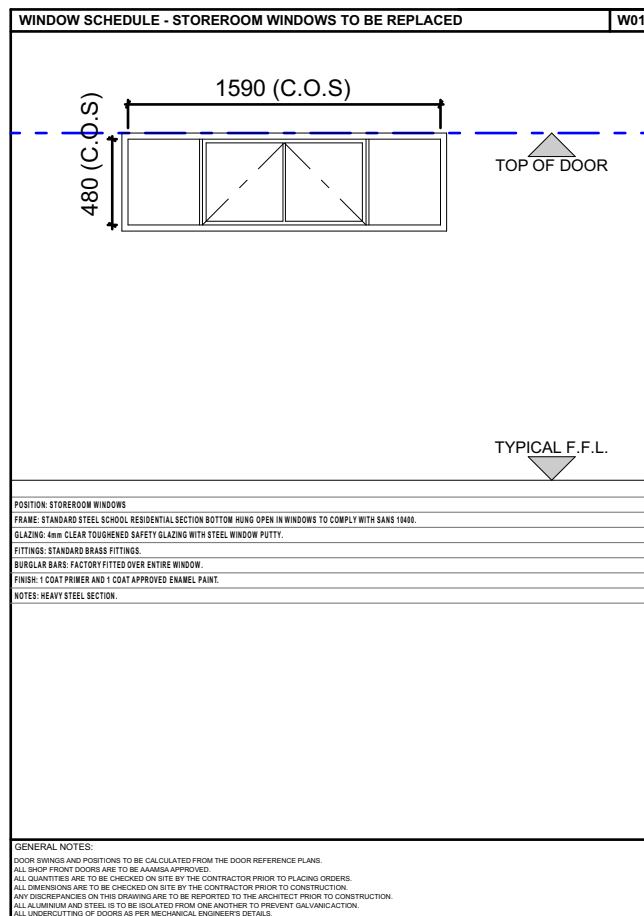
ENTIRE ROOF IS DAMAGED. REMOVE AND REPLACE SHEETING AND TRUSSES:

Refer to structural engineers detail for truss and roof sheeting replacement. REFER TO TYPICAL DETAILS FOR ROOF SHEET SPECIFICATION.

Remove existing external timber doors and replace with new as per door schedule below.



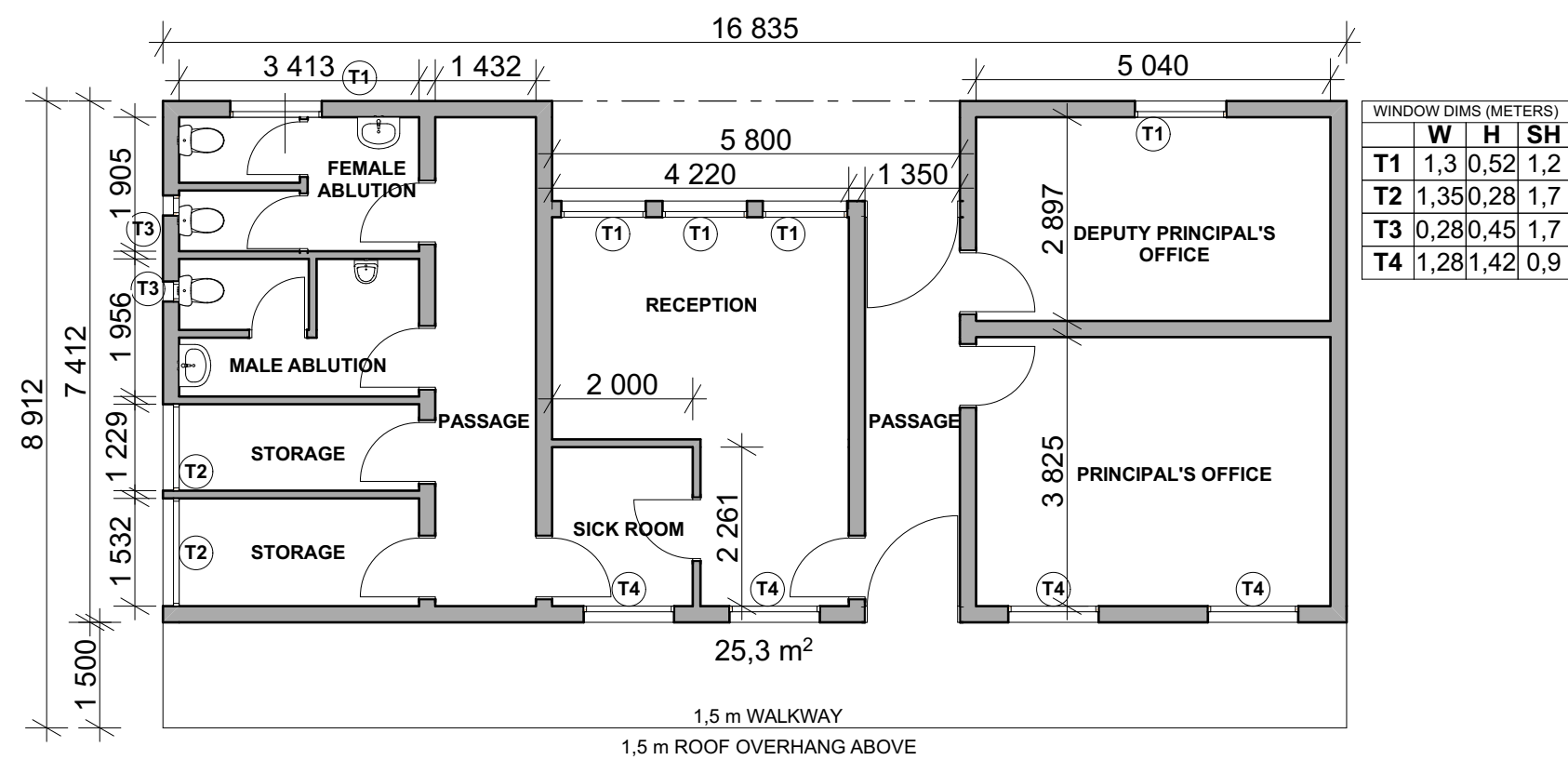
Remove existing windows and replace with new as per window schedule below.



NOTES:

1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
2. Partial Service: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
3. Do not scale this drawing.
4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Remove and replace existing signage with 1300x 700(h) new acrylic signage, fixed to existing wall.



BLOCK E: ADMIN BLOCK
SCALE - 1:100

Scope of Works as per Stage 2 Assessment Report:

BLOCK E - ADMIN:

- Entire roof is damaged. Remove sheeting & trusses and replace with new including gutters, fascia & barge boards and downpipes, to specialist's detail.
- Remove all ceilings and cornices and replace with new to match, including all skimming and painting. Light fittings and electrical cables to be reused where possible, where not possible, to be replaced if necessary. (REFER TO TYPICAL DETAILS.)
- Brickwork at top of perimeter walls appear loose – replace bricks with similar and ensure best practice / make good.
- Replace 1 x broken window glazing. (SEE BELOW SPECIFICATION.)
- Corrosion / deterioration to door & window frames, burglar bars and security gates, sand off as much rust, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing. (REFER TO TYPICAL DETAILS.)
- Replace admin block signage on side elevation with new to match. (SEE BELOW SPECIFICATION.)
- Leaking external water tap – rectify leaks.
- Plaster and paint all unplastered brickwork once structural damage rectification is complete. (REFER TO TYPICAL DETAILS.)
- Remove and install new internal floor finishes & skirting to entire block. (REFER TO TYPICAL VINYL DETAIL.REFER TO TYPICAL TILE DETAIL FOR ABLUTIONS)
- Informal timber wall surrounding sick room in admin office in a poor condition, this wall to be formalised with a proper partition wall which is to be skimmed and painted, including a new door with ironmongery. (SEE BELOW SPECIFICATION.)
- Timber doors in a poor condition. Rub down, prime and re-varnish. Install new door ironmongery including handles. (REFER TO TYPICAL DETAIL.)
- Sanware & plumbing in a poor condition – remove and replace all. Plumbing as per wet services engineer's details. (SEE SPECIFICATION BELOW)

Refer to structural engineers detail for truss and roof sheeting replacement. REFER TO TYPICAL DETAILS FOR ROOF SHEET SPECIFICATION.

Remove broken glazing from 1 x windows T1 (Ablutions) and replace with new 4mm obscure window glazing to match existing. Make good all existing surfaces.

NEW ABLUTION SANWARE SPECIFICATIONS:
BASIN: Lecico Atlas 50cm basin with full pedestal colour White, fixed with stainless steel screws and washers to plugs in wall and sealed with abe Dow Corning acetoxty silicone sealant where basin meets wall.
Material: Vitreous China, Basin code: ATLDUOBAS0500BE, Tap Hole: 1" tap hole, Height: 500mm, Width: 410mm, Depth: 788mm. TAP: Plumline 10-year warranty Moderna Chrome pillar taps (Code:038735). Mixer: Moderna Chrome pillar tap (Code:038735). **Material:** DZR (dezincification resistant brass) Brass. Finish: Chrome

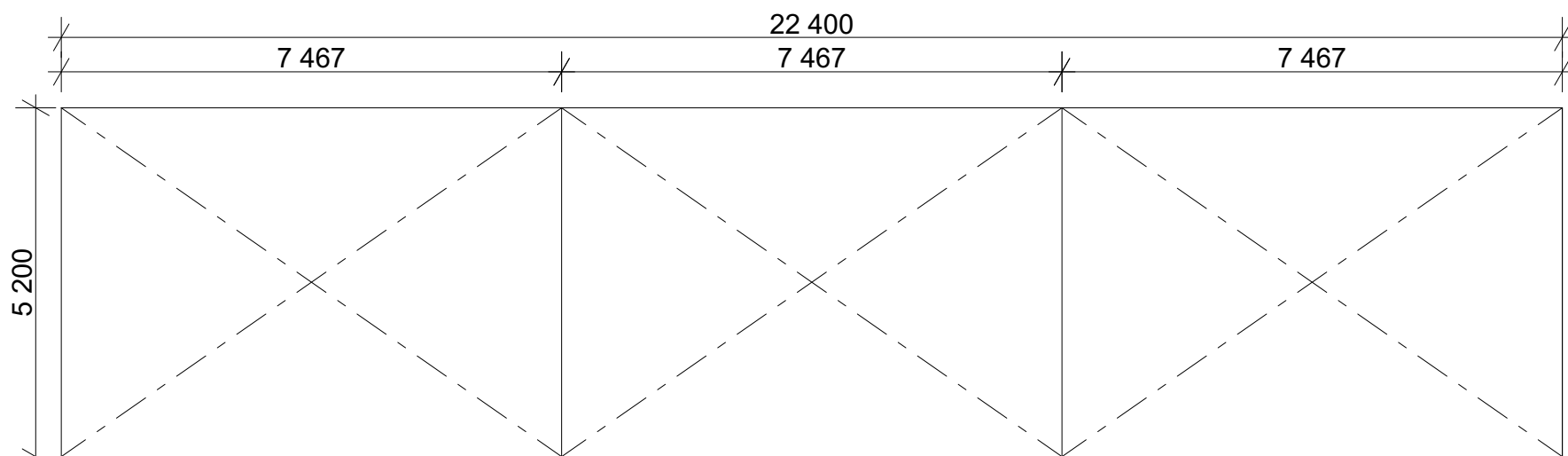
WC: Lecico Madison close couple suite colour White, seat and cover bolted to bowl with metal washers and rubber gaskets, 100mm outlet with cistern connected to 15mm water supply with foot of bowl sealed to floor with abe Dow Corning acetoxo silicone sealant. Material: Vitreous China, Pan code: MACDOXDFL03CSBE.

URINAL: Lecico Atlas 40cm urinal colour White, with back inlet and waste outlet including wall mounting brackets and connected to water supply, sealed with silicone sealant where urinal meets wall.

- Urinal code: ATLBOXURI0B40BE

WALL TILES: New 200 x 200mm gloss white wall tiles to match existing.

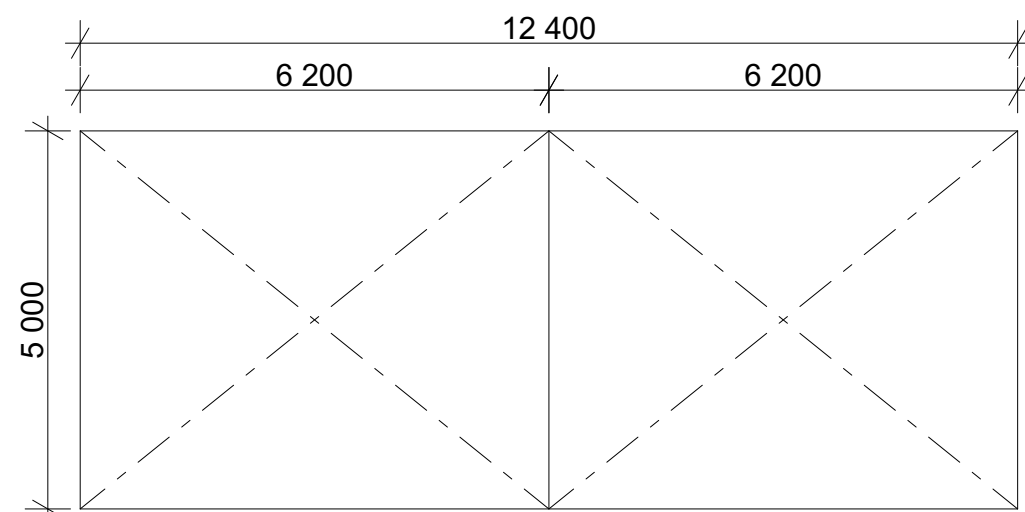
remove existing informal sickroom drywall and replace with new partition wall with new door. Make good existing surfaces. Refer to structural engineers detail for new partition wall. see below specification for new door.



BLOCK MISC
CARPORT 1

Scope of works:

1. Deterioration to some paintwork, rub down, apply rust inhibiting primer to restore the steel, and paint to match existing.



**BLOCK MISC
CARPORT 2**

Scope of works:

1. Deterioration to some paintwork, rub down, apply rust inhibiting primer to restore the steel, and paint to match existing.

[illegible]

Architect :

Name :

Signature :

Client :

Name :

Signature :



DBSA
DEVELOPMENT BANK OF SOUTHERN AFRICA

Project:

**CONDITION ASSESSMENT
KGAUHELO PRIMARY SCHOOL**

EXISTING BLOCKS:
REFURBISHMENT SCOPE OF WORKS

Drawn: **URBAN PLATFORM ARCHITECTS + PLANNERS**
Scale/s: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number: 082-KPS-103

A