

**BLOCK A: EXISTING ADMIN
GROUND
AREA: 352m²
FLOOR PLAN 1:100**

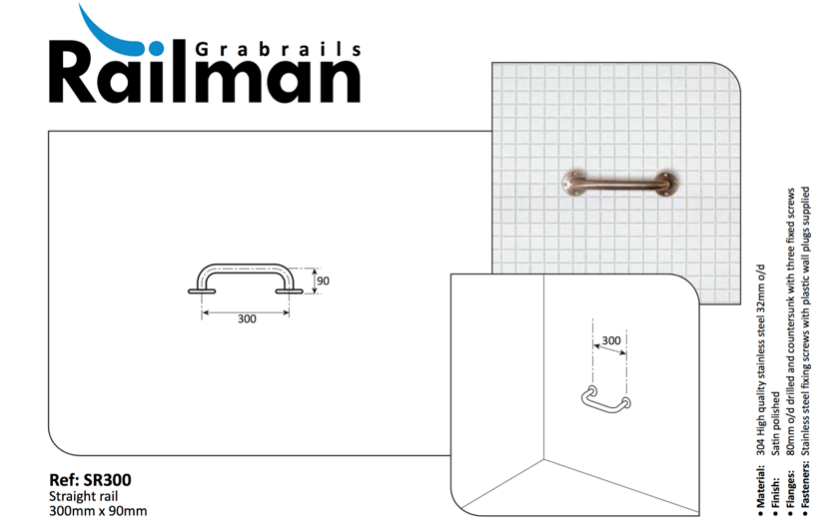
WINDOW DIMS (METERS)	W	H	SH
T1	1,5	1,27	
T2	0,530	0,67	
T3	1,100	40	

BLOCK A ADMIN: Scope of Works

1. Structural Damage noted, refer to Structural Engineer's report.
2. Damaged walkway plasterboard ceiling boards - remove and replace damaged boards with new to match existing. (REFER TO TYPICAL DETAILS).
3. Warped and water damaged plasterboard ceiling boards in passage - remove and replace with new to match. (REFER TO TYPICAL DETAILS).
4. Internal structural damage and cracks - once structural damage repairs are complete, prime and repaint walls to match. (REFER TO TYPICAL DETAILS).
5. Paraplegic abluition missing grabrails to door, install 2 x new grabrails as per SANS 10400 Part S. (SEE BELOW SPECIFICATION FOR GRABRAILS).
6. Water damage behind WHB - locate leaks and repair or replace if necessary.
7. Cracked or damaged ceiling cornices to be removed and replaced with new to match.
8. Any damaged window blinds to be repaired.
9. Make good chipped brickwork walls.
10. Loose and hanging electrical cables to be chased into walls or concealed within conduits.
11. Damaged vinyl floor finishes to be removed and replaced with new to match existing. (REFER TO TYPICAL DETAILS).
12. Water damage behind WHB and grabrail in paraplegic ablutions - locate leaks and repair or replace if necessary. Rub down walls, prime and repaint.
13. Missing ceiling trapdoor to be replaced with new to match. (SEE BELOW).
14. Missing light bulbs to be replaced with new to match.
15. Water damage to fire cupboard boards - remove and replace with new to match. (SEE BELOW FOR SPECIFICATION).
16. Missing / damaged electrical plugpoints to be replaced as per Electrical Engineer's details.

INSTALL MISSING GRABRAILS:

Install new grabrails onto existing door.



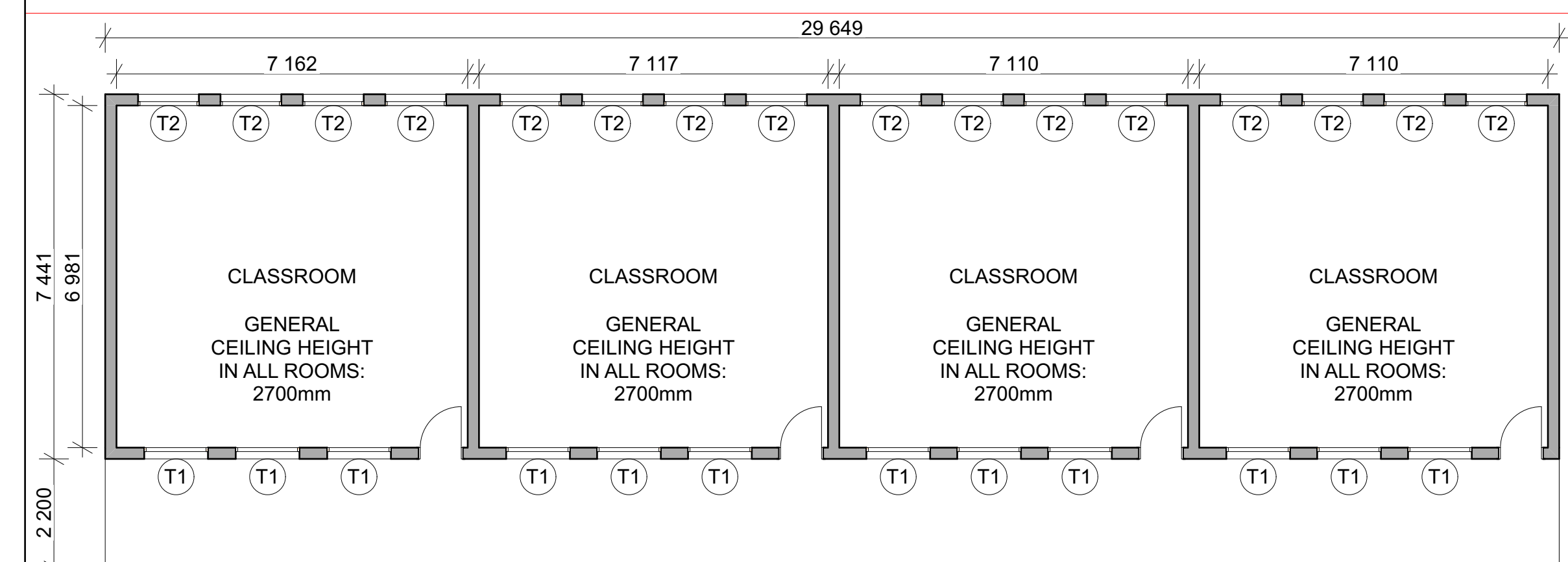
REPLACE MISSING CEILING TRAPDOOR:

Replace ceiling trapdoor to match existing.



REPLACE DAMAGED CUPBOARD PANEL:

Remove and replace damaged board with new to match.

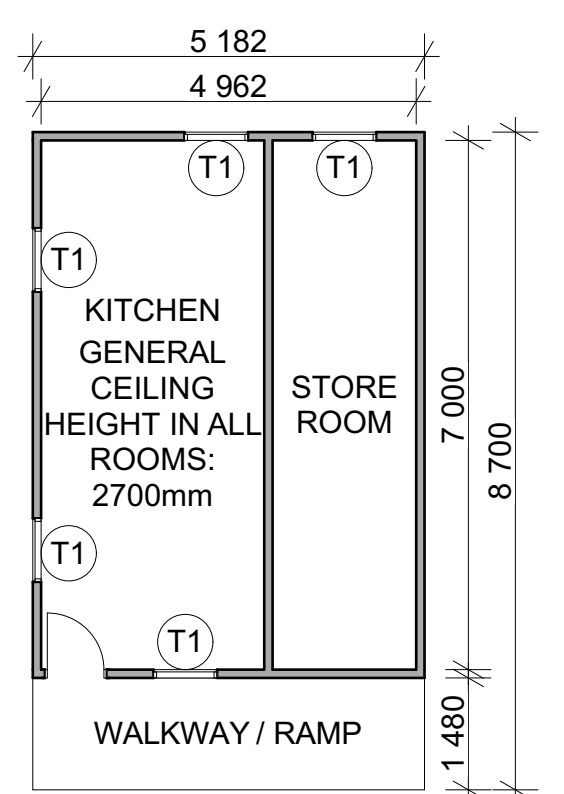


**BLOCK F: EXISTING CLASSROOM
GROUND FLOOR PLAN
SCALE - 1:100**

WINDOW DIMS (METERS)	W	H	SH
T1	1,3	0,5	1,0
T2	1,231	1,38	1,0

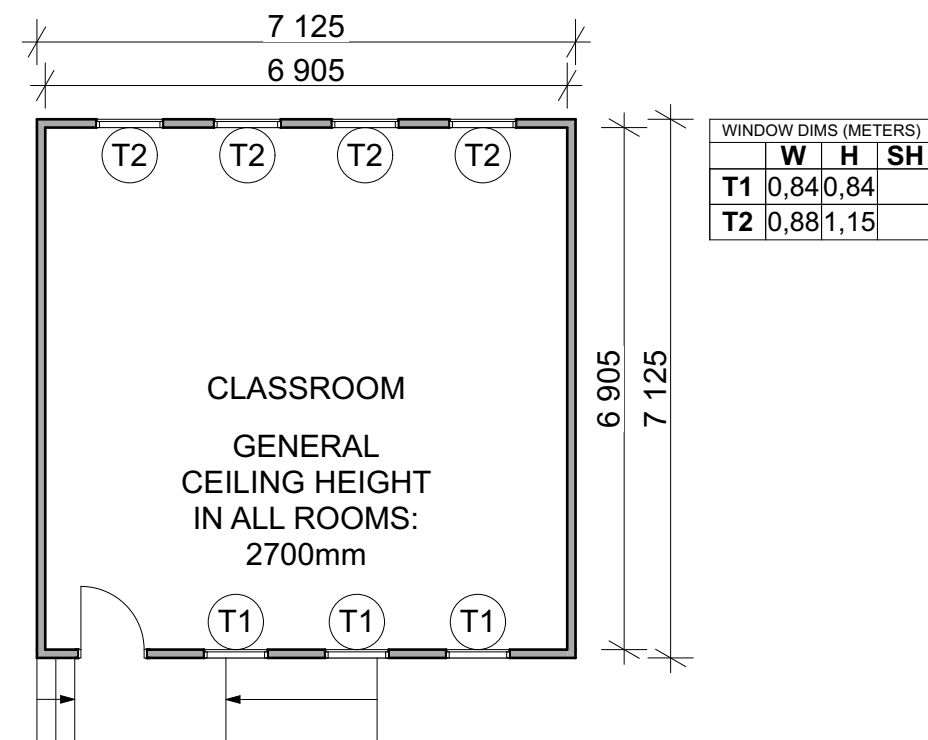
BLOCK F CLASSROOM: Scope of Works

1. External paintwork in a poor condition, rub down walls, prime and repaint. (REFER TO TYPICAL DETAILS).
2. No gutters or downpipes installed. Install new to match existing on site or as per later detail. (REFER TO TYPICAL DETAILS).
3. External plasterboard walkway ceiling in a poor condition, remove and replace with new ceiling boards. (REFER TO TYPICAL DETAILS).
4. Roof to be checked for any leaks and repaired or replaced.
5. Internal paintwork in a poor condition, rub down walls, prime and repaint. (REFER TO TYPICAL DETAILS).
6. Internal plasterboard ceilings in a poor condition, remove and replace with new including cornices. (REFER TO TYPICAL DETAILS).
7. Internal vinyl floor finishes in a poor condition and to be removed. (REFER TO TYPICAL DETAILS).
8. Once structural work is complete, replace with new, including skirtings.
9. Structural Damage noted, refer to Structural Engineer's report.
10. Painted window panels: paint to be cleaned off glazing and new vinyl film to be installed only to portions of glazing that were painted.



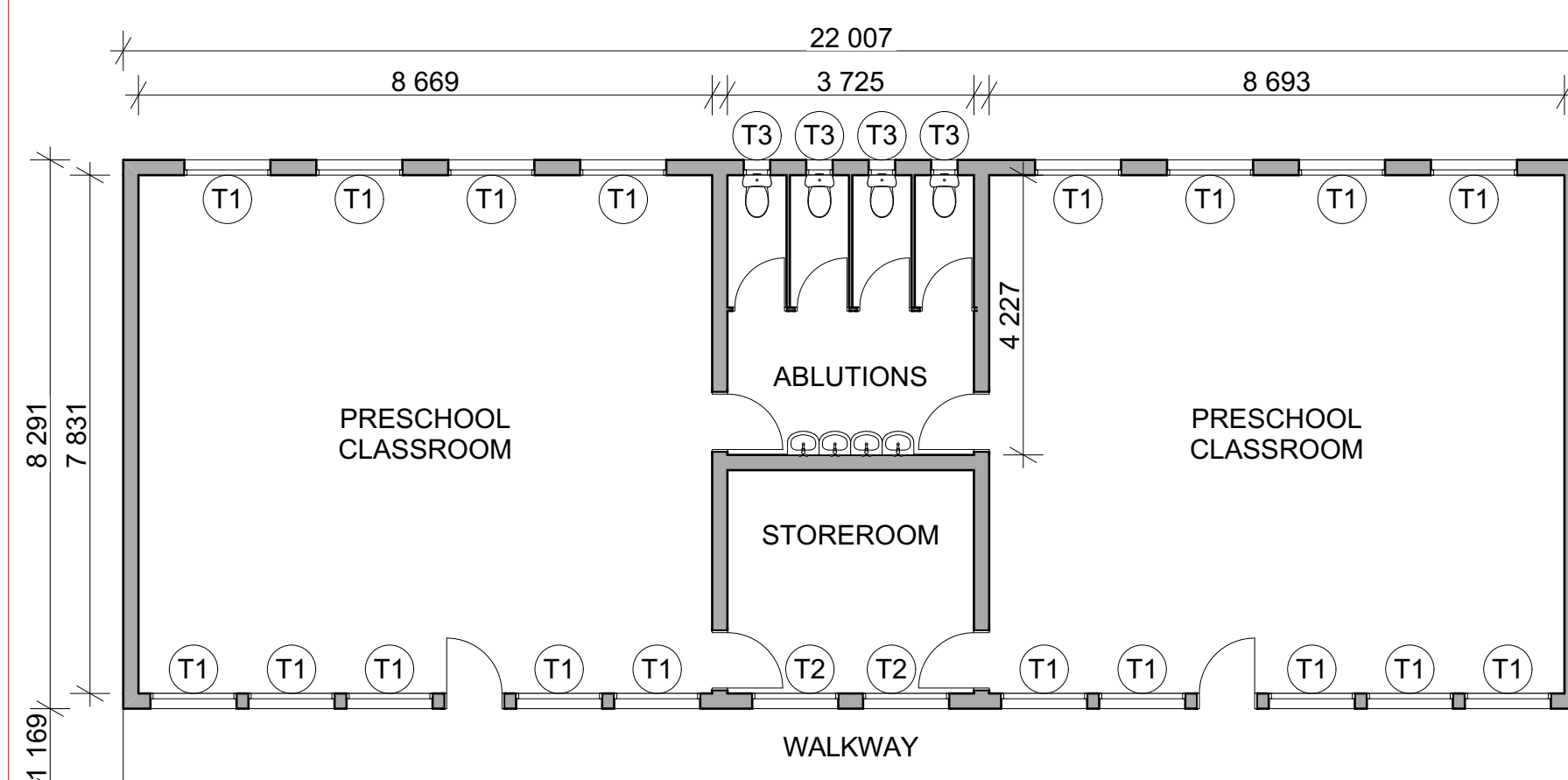
**BLOCK B:
EXISTING KITCHEN
GROUND FLOOR PLAN
SCALE - 1:100
AREAS: BUILDING: 37,4m²
WALKWAY: 7,7m²**

WINDOW DIMS (METERS)	W	H	SH
T1	0,840	0,84	1,0



**BLOCK G: EXISTING
CLASSROOM GROUND
FLOOR PLAN 1:100
AREAS: BUILDING: 51m²**

WINDOW DIMS (METERS)	W	H	SH
T1	0,840	0,84	1,0
T2	0,881	1,5	



**BLOCK I: EXISTING CLASSROOM
GROUND FLOOR PLAN 1:100
AREAS: BUILDING: 169m²
WALKWAY: 39m²**

WINDOW DIMS (METERS)	W	H	SH
T1	1,3	0,98	
T2	1,3	0,52	
T3	0,400	0,58	

BLOCK I CLASSROOM: Scope of Works

1. No gutters or downpipes installed. Install new to match existing on site or as per later detail. (REFER TO TYPICAL DETAILS).
2. Missing splashback tile next to sink to be replaced with new to match existing tiles. (SEE BELOW FOR SPECIFICATION).
3. Internal paintwork in a poor condition, rub down walls, prime and repaint. (REFER TO TYPICAL DETAILS).
4. Structural Damage noted, refer to Structural Engineer's report.
5. Some plasterboard internal ceilings in a poor condition - repaint where possible or remove and replace with new to match. (REFER TO TYPICAL DETAILS).
6. Internal vinyl / carpet floor finishes in a poor condition, remove and replace with new, including skirtings. (REFER TO TYPICAL DETAILS).

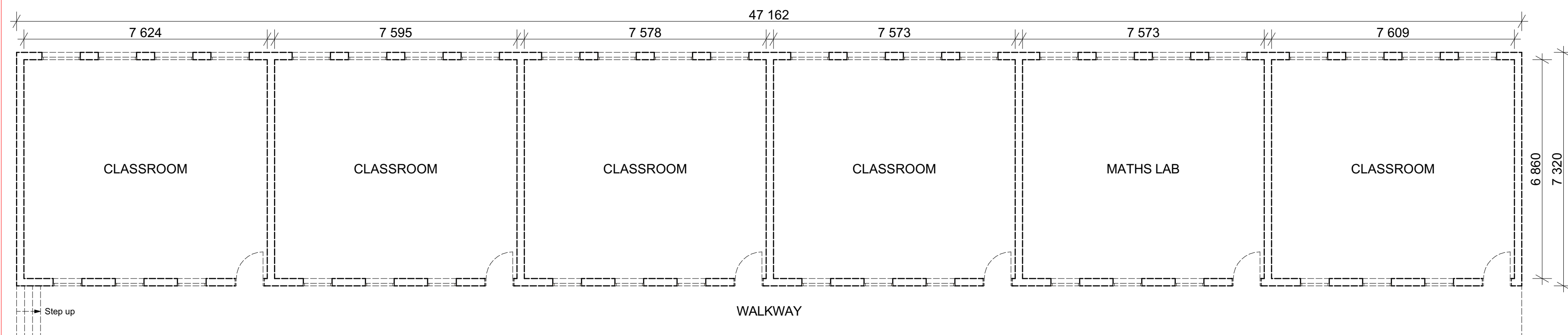
REPLACE MISSING WALL TILES:

Replace missing wall tiles with new to match existing.



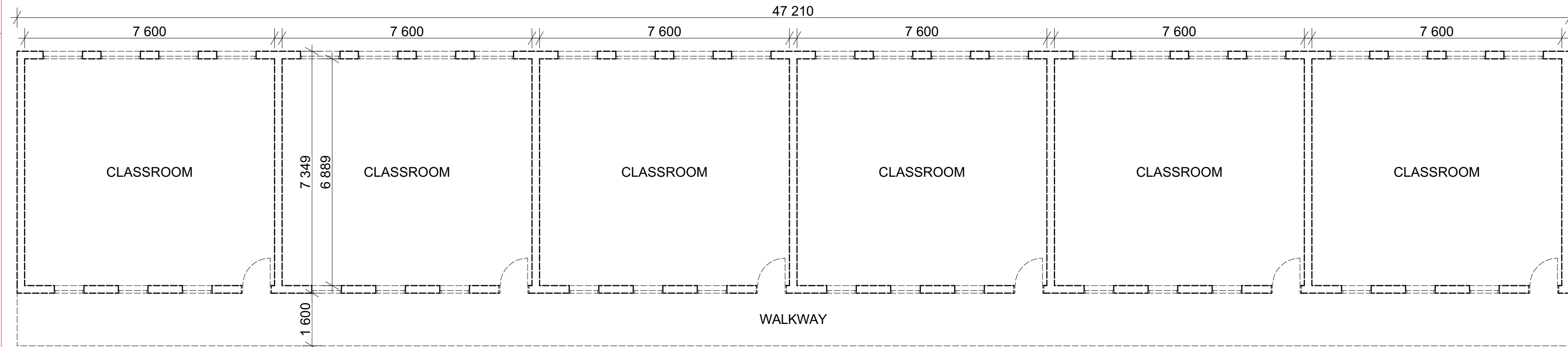
BLOCK M ABLUTIONS: Scope of Works

1. No barge boards installed, install new to match existing on site or as per later detail.
2. Gutters are corroding and downpipes are missing, remove and install new gutters and downpipe.
3. External paintwork in a poor condition, rub down walls, prime and repaint.
4. Vandalism to be cleaned off external brickwork.
5. Window frames paintwork is deteriorating, rub down, prime and repaint.
6. Damaged external light fittings to be removed and replaced with new as per Electrical Engineer's specifications.
7. Existing fascia boards to be repainted.
8. Ceiling in walkway to be removed and replaced with new, including skimming and painting.
9. Timber doors in a poor condition. Rub down and re-varnish.
10. Damaged tiles on walkway to be removed and replaced with new.
11. Missing brickwork on walkway upstand to be replaced with new to match.
12. Internal tiled floor finishes in a poor condition, remove and replace with new, including skirtings.
13. Internal paintwork in a poor condition, rub down walls, prime and repaint.
14. Missing light fittings to be replaced with new.
15. Steel sink WHB in a poor condition - remove and replace with new WHB's.
16. Water damaged concrete plinths below urinals to be repaired and made good. Holes around pipework to be covered or filled in.
17. Damaged wall / brickwork behind urinal tap to be made good.
18. Stored furniture in service passage to be removed and all plumbing to be checked for any damage or leaks.



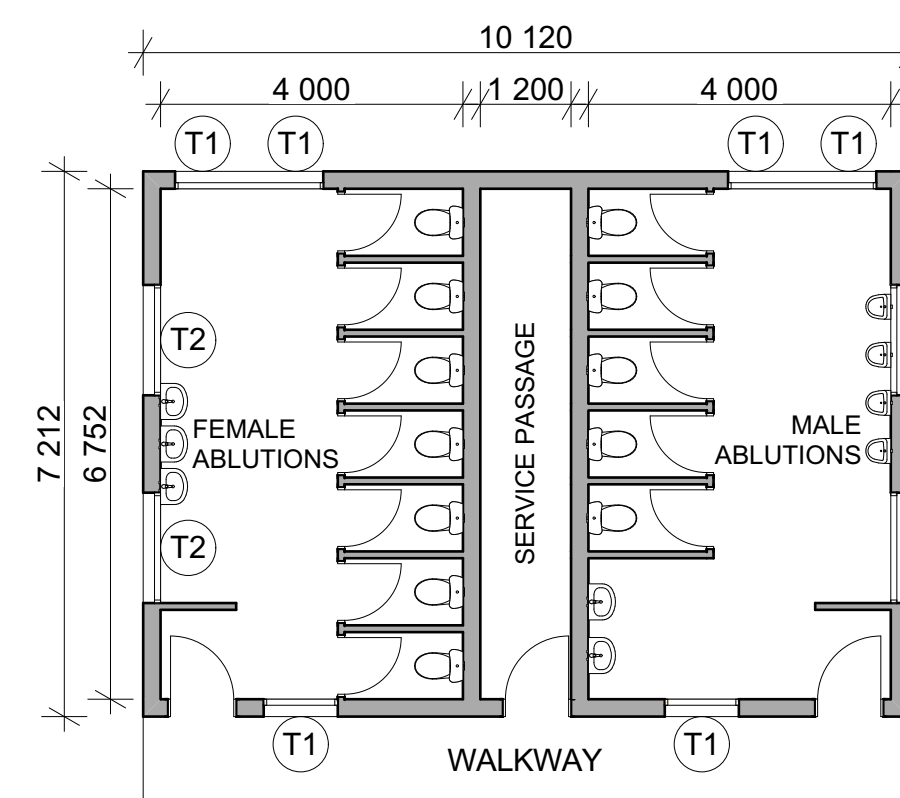
**BLOCK D: TO BE DEMOLISHED
EXISTING CLASSROOM
GROUND FLOOR PLAN
SCALE - 1:100**

WINDOW DIMS (METERS)	W	H	SH
T2	0,9	0,6	1,3
T3	1,2	1,3	0,8



**BLOCK E: TO BE DEMOLISHED
EXISTING CLASSROOM
GROUND FLOOR PLAN
SCALE - 1:100**

WINDOW DIMS (METERS)	W	H	SH
T2	0,9	0,6	1,3
T3	1,2	1,3	0,8



**BLOCK J AND K: EXISTING FEMALE
ABLUTIONS GROUND FLOOR PLAN 1:100
AREAS: BUILDING: 73m²**

WINDOW DIMS (METERS)	W	H	SH
T1	0,970	0,60	
T2	1,460	0,60	

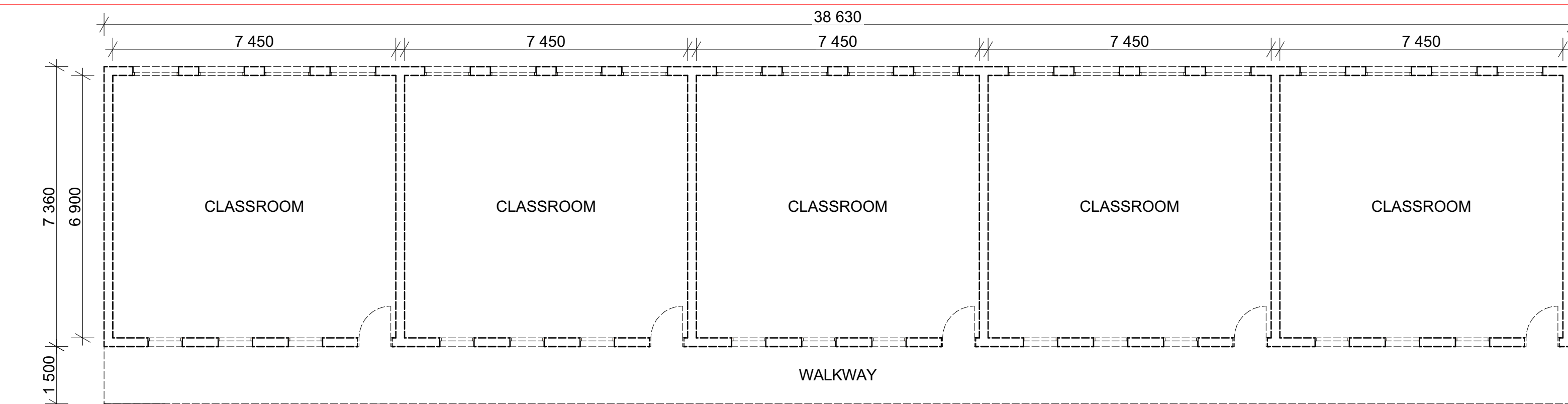
BLOCKS J & K ABLUTIONS: Scope of Works

1. Gutters and downpipes are damaged, install new to match existing on site or as per later detail. (REFER TO TYPICAL DETAILS).
2. Some barge boards missing, install new to match existing. (REFER TO TYPICAL DETAILS).
3. Corrosion to window frames, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing. (REFER TO TYPICAL DETAILS).
4. Internal paintwork in a poor condition, rub down walls, prime and repaint. (REFER TO TYPICAL DETAILS).
5. Internal tile floor finishes in a poor condition, remove and replace with new, including skirtings. (REFER TO TYPICAL DETAILS).
6. WC's are improperly constructed and in a poor condition. Recommend removing and replacing with new sanware to later detail. (SEE BELOW FOR SPECIFICATION).
7. Missing light fittings to be replaced with new.
8. Internal cubicle doors to be rubbed down, primed and repainted. (REFER TO TYPICAL DETAILS).
9. Damaged plumbing - repair or replace.
10. Stored furniture in service passage to be removed and all plumbing to be checked for any damage or leaks.
11. Any corroded window louvers to be repaired but if repair is not possible, replace with new to match.
12. Water damaged concrete plinth below urinals to be repaired and made good.
13. Service drain at back of toilets to be made good.

REPLACE ALL BATHROOM SANWARE:

NEW BATHROOM SANWARE SPECIFICATIONS:

WC: Leticio Madison close couple suite colour White, seat and cover bolted to bowl with metal washers and rubber gaskets, 100mm outlet with cistern connected to 15mm water supply with foot of bowl sealed to floor with abe Dow Corning acetoxy silicone sealant. Material: Vitreous China, Pan code: MADBOXDFL0SCSBIE.



**BLOCK L: EXISTING CLASSROOM TO BE DEMOLISHED
GROUND FLOOR PLAN
SCALE - 1:100**

WINDOW DIMS (METERS)	W	H	SH
T1	1,3	0,5	1,9
T2	0,9	0,6	1,3

REPLACE MISSING EXTERNAL TILES:

Missing walkway tiles to be replaced with new to match existing.



REPLACE MISSING BRICKWORK:

Replace and repair missing brickwork at edge of existing walkway - to match existing brickwork.



REPLACE ALL BATHROOM SANWARE:

NEW ABLUTION SANWARE SPECIFICATIONS:
BASIN: Kwikot Model SRHB-003 Grade 304 (18/10) Stainless Steel triple bowl wash hand basin (Code: SRHB-003), size 1955 x 420mm with 165mm deep bowls with 40mm waste outlets and 25mm splash back and tiling key fixed to wall using 25mm square stainless steel gallow brackets and supported with adjustable front legs, all in accordance with manufacturer's recommendations.

TAPS: Plumline 10-year warranty Moderna Chrome pillar tap (Code: 038735) with a flowrate of 32 litres/minute @ 300KPa. Mixer: Moderna Chrome pillar tap (Code: 038735). Material: D2R (dezincification resistant brass) Brass. Finish: Chrome. Flowrate: 32 litres/minute @ 300KPa.

WALL TILES: New 200 x 200mm gloss white wall tiles to match existing.

- NOTES:
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
 2. Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
 3. Do not scale this drawing.
 4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Revisions:	Rev No:	Date:	Description:	Rev By:
A	04/11/22		For Information Purposes Only	MM
B	07/08/23		Blocks C, N & P are no longer being demolished but are now being refurbished.	MM
C	18/07/23		Added new paved area and platform	ID

Architect :

Name :
Signature :
Client :
Name :
Signature :



Project: **CONDITION ASSESSMENT
LIKUBU PRIMARY SCHOOL**

Drawing description: **EXISTING BLOCKS:
REFURBISHMENT SCOPE OF WORKS**

Drawn: ISENZEKO ENGINEERING	(AD)
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Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number: 082-LPS-101	Revision: C
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