

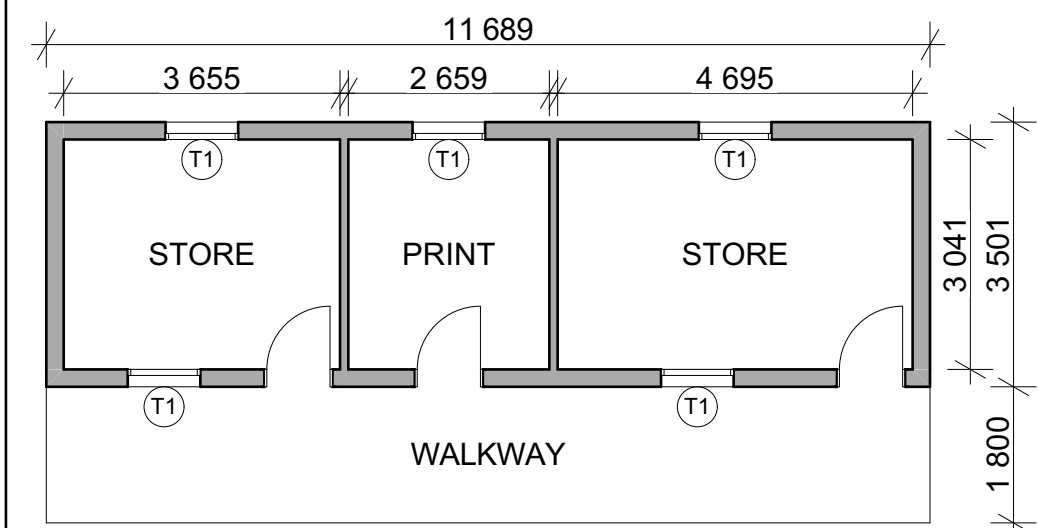
BLOCK O: EXISTING ABLUTIONS
GROUND FLOOR PLAN 1:100
AREAS: BUILDING: 40m²
WALKWAY: 10m²

WINDOW DIMS (METERS)
W H SH
T1 0,97 0,60

BLOCK O ABLUTIONS: Scope of Works

- Gutters and downpipes are damaged, install new to match existing on site or as per later detail. (REFER TO TYPICAL DETAILS).
- Deterioration of barge boards - rub down and repaint. (REFER TO TYPICAL DETAILS).
- Concrete ramp leading to walkway is non compliant, remove and install new compliant ramp with handrails, to comply with SANS 10400. (REFER TO TYPICAL DETAILS).
- Brick filler to tops of brickwork walls / underside of roof to close off gaps.
- Timber purlins in a poor condition - refer to Structural Engineer's report.
- Stored furniture in service passage to be removed and all plumbing to be checked for any damage or leaks.
- Internal paintwork in a poor condition, rub down walls, prime and repaint. (REFER TO TYPICAL DETAILS).
- 1 x mismatched plastic tap to be removed and replaced with new to match others.
- 1 x damaged toilet seat to be removed and replaced with new to match.
- Could not gain access to paraplegic ablution as it was locked.
- From outside, it appears that the paraplegic ablution doors grabrail is positioned incorrectly, reposition grabrail and ensure that there is a grabrail on the internal face of the door, as per SANS 10400.
- Structural Damage noted, refer to Structural Engineer's report.
- Remove and replace damaged mirror and splashback tile behind WHB. (SEE BELOW FOR SPECIFICATION).
- Water damaged ceiling and cornice to be removed and replaced with new to match, including skimming and painting. (REFER TO TYPICAL DETAILS).
- Corroded burglar guards over windows, remove and replace with new.

REPLACE DAMAGED TILES AND MIRROR:



BLOCK C: EXISTING STORE ROOM
GROUND FLOOR PLAN
SCALE - 1:100

WINDOW DIMS (METERS)
W H SH
T1 0,96 1,42 1,0

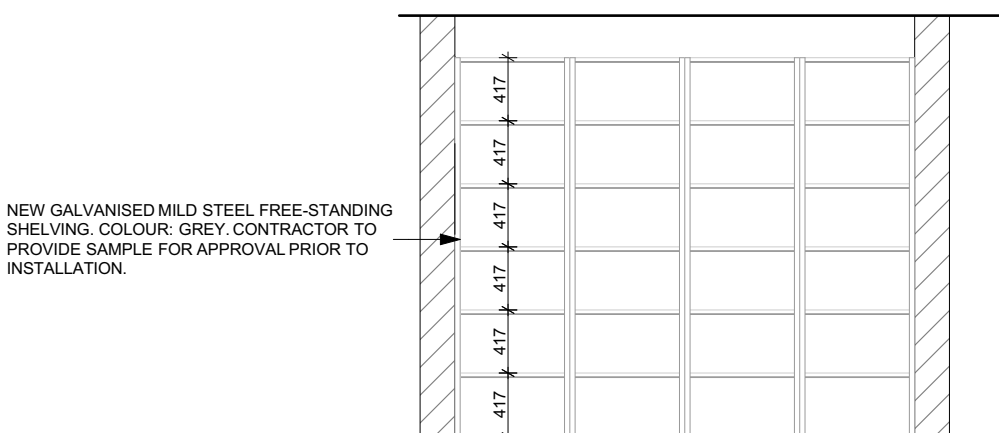
REPLACE ROOF SHEETING:

Safintra 0.55mm thick 700mm cover SAFLOK 700 'RAIN CLOUD' COLORPLUS interlocking concealed fix roof covering, fixed to timber purlins at 2112mm centres and end-span purlins at 1920mm centres (final spacing to be calculated by an engineer) by means of SL 700 Clip 21 clips secured to purlins in combination with a suitable class safintra approved wafer head self-tapping fasteners with roof insulation, all in accordance with the manufacturer's recommendations. All aspects to be in strict accordance with the manufacturer's latest published recommendations. Profile measurements and proportions must be in line with the latest product specification manual as published by Safintra SA. Sheet coating AZ150. Ridge cap to match roof sheeting.

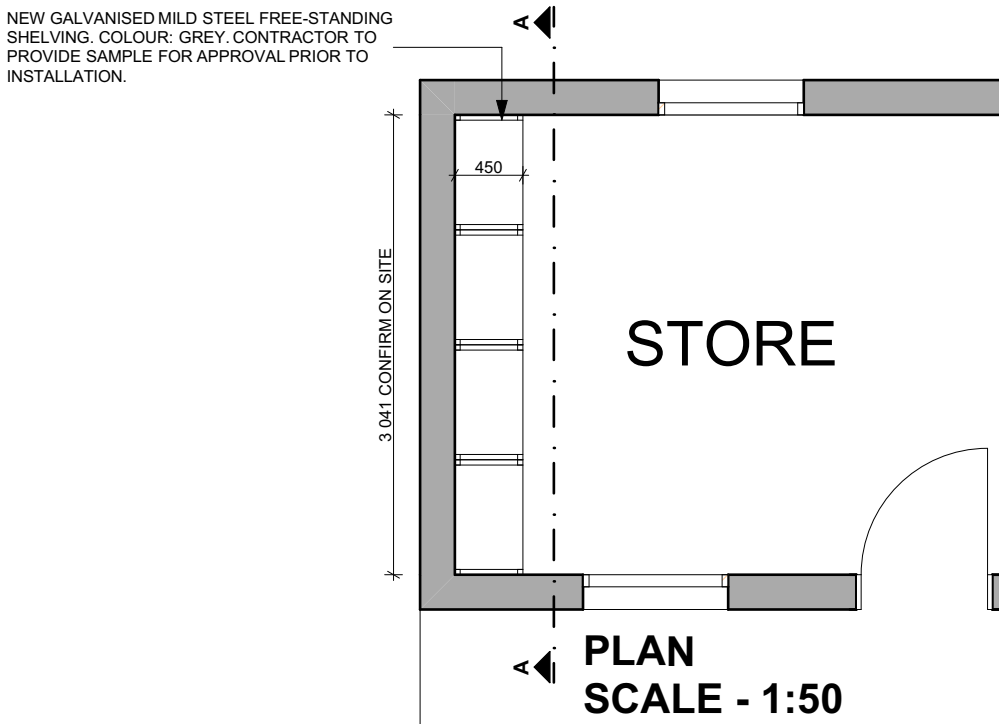
3 x EXTERNAL TIMBER DOORS TO BE RE-VARNISHED



WARPED AND DAMAGED TIMBER SHELVING TO BE REMOVED AND REPLACED WITH NEW.



TYPICAL SECTION A - A
SCALE - 1:50



PLAN SCALE - 1:50

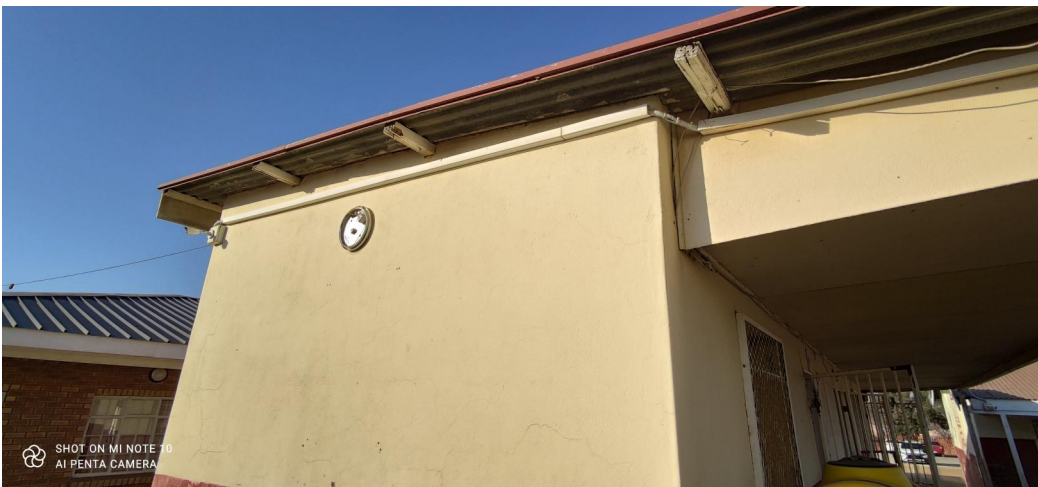
RUB DOWN EXISTING STEEL POSTS, PRIME AND REPAINT:



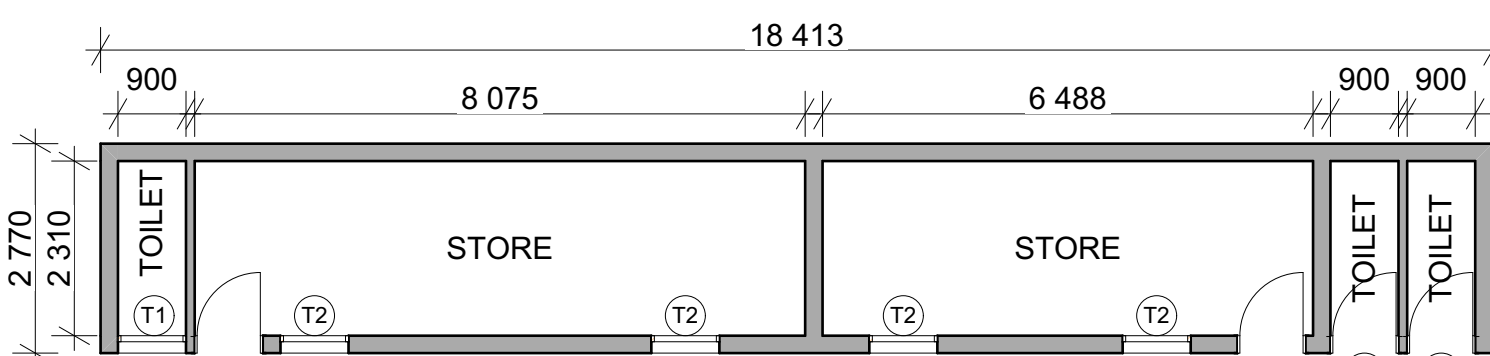
DAMAGED ELECTRICAL CONDUIT TO BE REPAIRED.



REPLACE 1 x EXTERNAL LIGHT FITTING.



REPAIR DAMAGED PLASTERWORK AT 1 x DOOR.



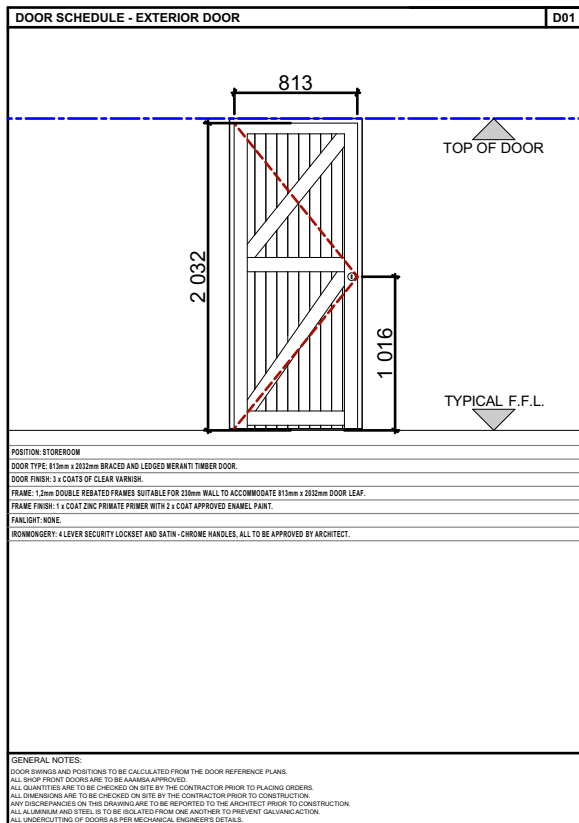
BLOCK N: EXISTING STORE ROOM AND ABLUTION
GROUND FLOOR PLAN 1:100

WINDOW DIMS (METERS)
W H SH
T1 0,9 0,6 1,3
T2 0,9 0,6 1,3
T3 0,8 0,4 2,1

BLOCK N STORAGE:

- Structural Damage noted, refer to Structural Engineer's report.
- Remove and replace timber entrance doors with new. (REFER TO SPEC BELOW).
- External paintwork in a poor condition, rub down walls, prime and repaint. (REFER TO TYPICAL DETAILS).
- Timber roof structural members to be repaired or replaced as per Structural Engineer's recommendation.
- Replace 1 x damaged mesh window with new to match existing. (REFER TO SPEC BELOW).
- Remove and replace roof sheeting with new. (REFER TO SPEC BELOW).
- External aprons in a poor condition - refer to structural engineer's recommendations for repair or replacement.
- Internal paintwork in a poor condition, rub down walls, prime and repaint. (REFER TO TYPICAL DETAILS).
- Internal ceilings in a poor condition, remove and replace with new including cornices. (REFER TO TYPICAL DETAILS).
- Corrosion to burglar bars / guards, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing. (REFER TO TYPICAL DETAILS).
- Corrosion to window frames, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing. (REFER TO TYPICAL DETAILS).
- Internal floor cracks to be repaired as per structural engineer's recommendations.
- Replace 2 x missing windows with new (above doors). (REFER TO SPEC BELOW).
- Replace all WC's & WHB's with new. Could not gain access into toilets so could not assess condition.

REMOVE AND REPLACE 4 x EXISTING TIMBER DOORS WITH NEW AS PER SCHEDULE BELOW.



REPLACE ALL BATHROOM SANWARE:

NEW BATHROOM SANWARE SPECIFICATIONS:
WC: Lecico Madison close couple suite colour White, seat and cover bolted to bowl with metal washers and rubber gaskets, 100mm outlet with cistern connected to 15mm water supply with foot of bowl sealed to floor with abe Dow Corning acetoxysilicone sealant. Material: Vitreous China, Pan code: MADBOXDFLOSCSBE.

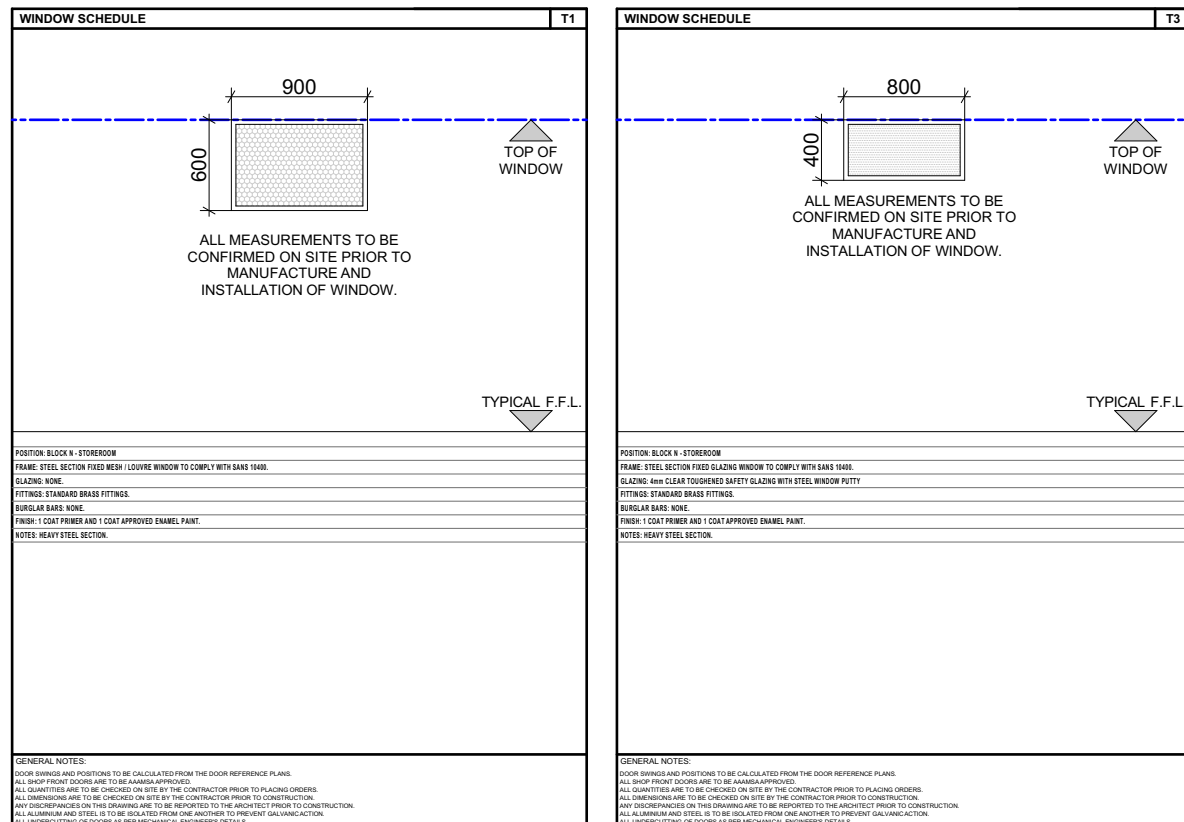
BASIN: Amaro 2 50cm basin, Product Code: 037119, with pre punch tap holes.

TAPS: Plumline 10-year warranty Moderna Chrome pillar tap (Code: 038735) with a flowrate of 32 litres/minute @ 300KPa. Mixer: Moderna Chrome pillar tap (Code: 038735). Material: DZR (dezincification resistant brass) Brass. Finish: Chrome. Flowrate: 32 litres/minute @ 300KPa.

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REPLACE 1 x DAMAGED T1 MESH WINDOW WITH NEW TO MATCH EXISTING.



REPLACE 2 x MISSING T3 WINDOWS WITH NEW TO MATCH EXISTING.



- NOTES:**
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
 2. Partial Service: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
 3. Do not scale the drawing.
 4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Rev No	Date	Description	Rev By
A	04/11/22	For Information Purposes Only	MM
B	07/06/23	Blocks C, N & P are no longer being demolished but are being refurbished	MM
C	19/07/23	Added new paved area and platform	ID

Architect :

Name :

Signature :

Client :

Name :

Signature :



Project:

CONDITION ASSESSMENT
LIKUBU PRIMARY SCHOOL

Drawing description:

EXISTING BLOCKS:
REFURBISHMENT SCOPE OF WORKS

Drawn: ISENZEKO ENGINEERING

A2

Scale/s: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number: 082-LPS-102

Revision: C