

BLOCK P: HOUSE
GROUND FLOOR PLAN 1:100
AREAS: BUILDING: 62m²

WINDOW DIMS (METERS)			
	W	H	SH
T1	1,4	0,9	
T2	1,9	1,5	
T3	1,9	1,2	
T4	1,0	0,9	

REPLACE ALL BATHROOM SANWARE:

NEW BATHROOM SANWARE SPECIFICATIONS:

BASIN: Lecico Atlas 50cm basin with full pedestal colour White, fixed with stainless steel screws and washers to plugs in wall and sealed with abe Dow Corning acetoxysilicone sealant where basin meets wall. Material: Vitreous China, Basin code: ATLDUOBAS0500BE, Tap Hole: 1 tap hole, Height: 500mm, Width: 410mm, Depth: 788mm.

TAP: Plumline 10-year warranty Moderna Chrome pillar taps (Code: 038735). Mixer: Moderna Chrome pillar tap (Code: 038735). Material: DZR (dezincification resistant brass) Brass. Finish: Chrome.

MIRROR: Frameless Rectangular Mirror - 700 x 450 x 3mm Includes Fitting Screws.

SPLASHBACK: 200 x 200 gloss Johnson tiles.

WC: Lecico Madison close couple suite colour White, seat and cover bolted to bowl with metal washers and rubber gaskets, 100mm outlet with cistern connected to 15mm water supply with foot of bowl sealed to floor with abe Dow Corning acetoxysilicone sealant. Material: Vitreous China, Pan code: MADBOXDFL0SCSBE.

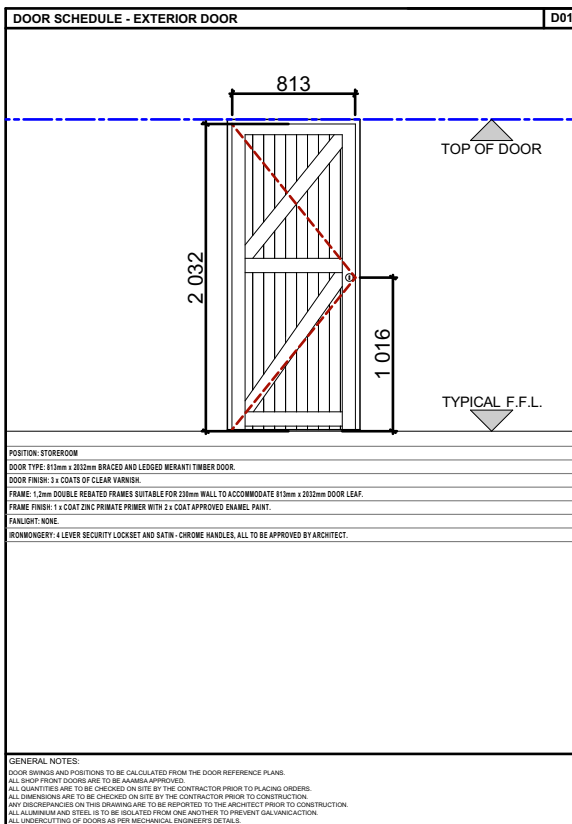
BATHTUB: Geberit Rekord built-in bathtub colour white (Article No. 554.106.01.1), overall size 1600 x 700 x 417mm high with 163 litres capacity, installed in accordance into brick surround with manufacturer's recommendations.

TAP: Plumline 10-year warranty Hydrus Chrome bath mixer with hand shower, hose and diverter (Code: 031460). Mixer: Hydrus Chrome bath mixer with hand shower, hose and diverter (Code: 031460). Material: DZR (dezincification resistant brass) Brass. Finish: Chrome.

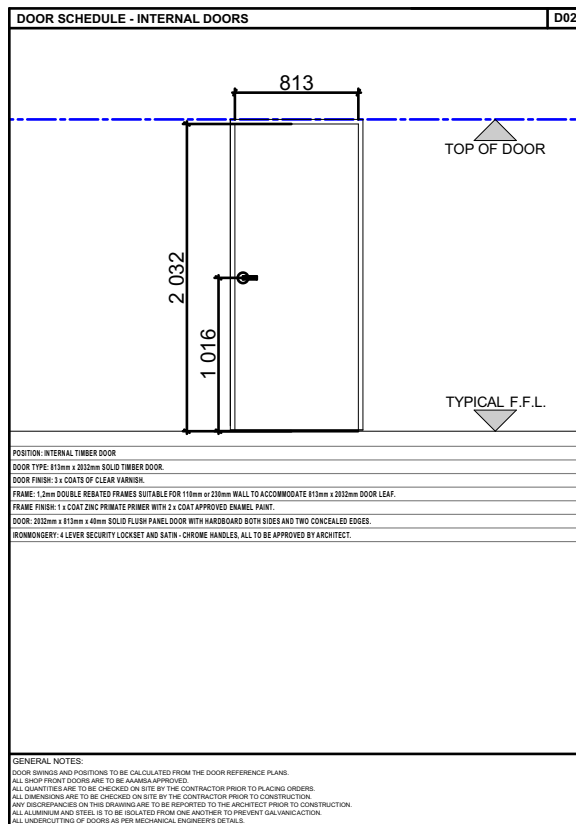
BLOCK P HOUSE:

- Fascia and barge boards damaged, remove, make good and install new to match existing on site or as per later detail. (REFER TO TYPICAL DETAILS).
- Timber roof structural members to be repaired or replaced as per Structural Engineer's recommendation.
- Corrosion to door and window frames & security gates, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing. (REFER TO TYPICAL DETAILS).
- Replace external verandah ceilings, cornices and light fittings with new. (REFER TO TYPICAL DETAILS).
- Replace 2 x timber entrance doors with new. (SEE BELOW FOR SPEC).
- Gutters and downpipes are damaged, install new to match existing on site or as per later detail. (REFER TO TYPICAL DETAILS).
- Replace 2 x cracked window glazing. (SEE BELOW FOR SPEC).
- Replace all internal ceilings, cornices and light fittings. (REFER TO TYPICAL DETAILS).
- Internal floor finishes in a poor condition, remove and replace with new, including skirtings. (REFER TO TYPICAL DETAILS).
- Replace kitchen cupboards and sink with new. (SEE BELOW FOR SPEC).
- Replace all internal timber doors with new. (SEE BELOW FOR SPEC).
- Internal paintwork in a poor condition, rub down walls, prime and repaint. (REFER TO TYPICAL DETAILS).
- Replace all bathroom fittings and tiles with new. (SEE BELOW FOR SPEC).

REMOVE AND REPLACE 2 x EXISTING EXTERNAL TIMBER DOORS WITH NEW AS PER SCHEDULE BELOW.



REMOVE AND REPLACE 4 x EXISTING INTERNAL TIMBER DOORS WITH NEW AS PER SCHEDULE BELOW.

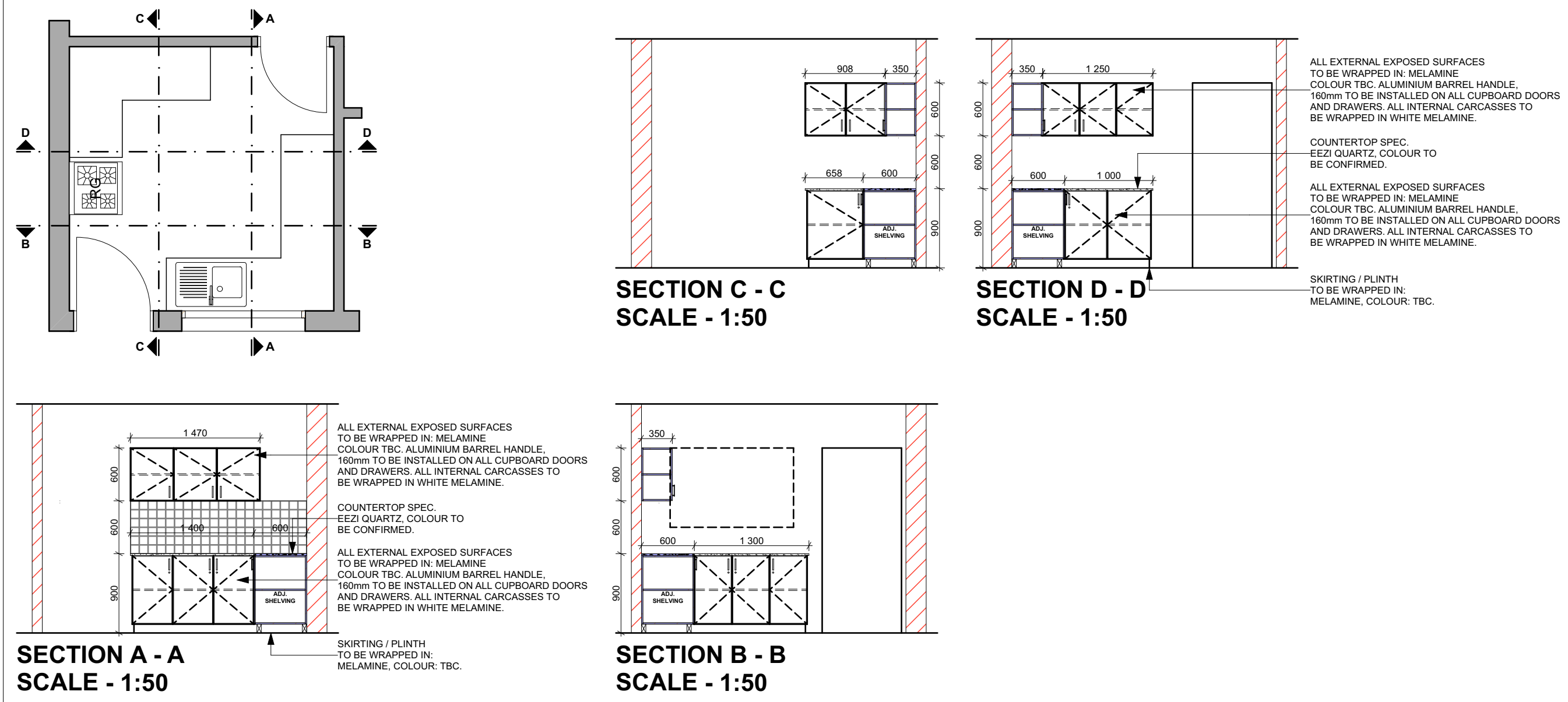


REPLACE BROKEN WINDOW GLAZING:

Replace glazing to 1 x T1 & 1 x T4 window as per image below.



REMOVE AND REPLACE DAMAGED KITCHEN CUPBOARDS



NOTES:
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Office of the Architect.
2. Partial Service: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
3. Do not scale this drawing.
4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Rev No	Date	Description	Rev By
A	07/06/23	For Information Purposes Only	MM
B	18/07/23	Added new paved area and platform	ID

Architect :

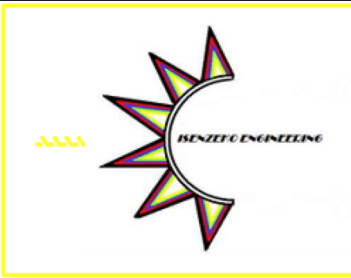
Name :

Signature :

Client :

Name :

Signature :



Project: **CONDITION ASSESSMENT
LIKUBU PRIMARY SCHOOL**

Drawing description: **EXISTING BLOCKS:
REFURBISHMENT SCOPE OF WORKS**

Drawn: **ISENZEKO ENGINEERING**

Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number: 682-LPS-107 Revision: B