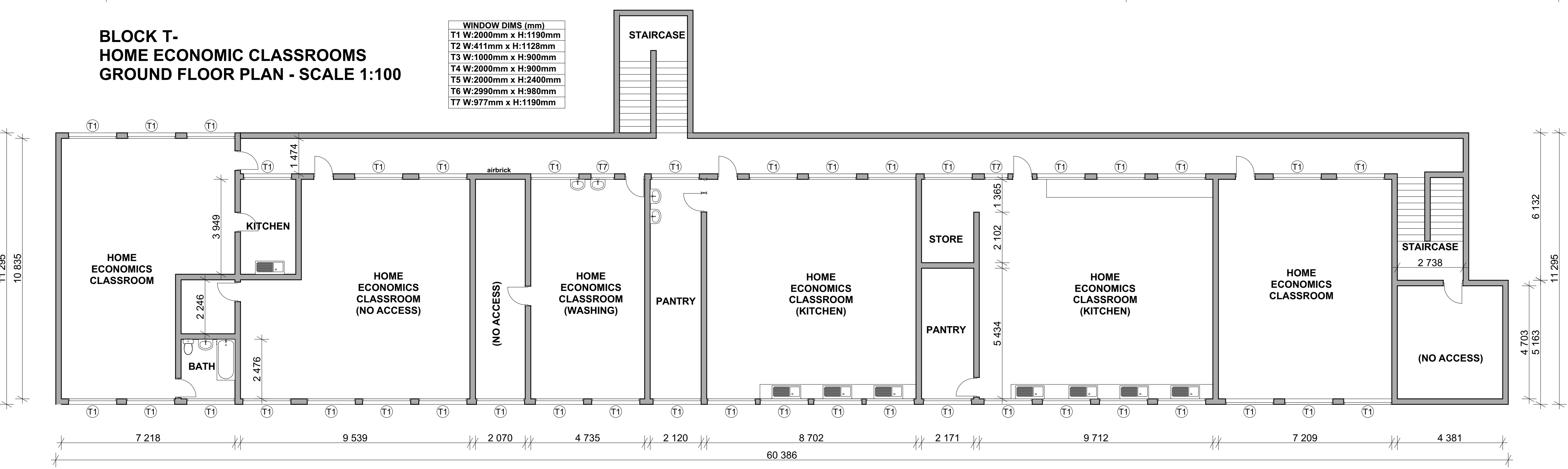


**BLOCK T-
HOME ECONOMIC CLASSROOMS
GROUND FLOOR PLAN - SCALE 1:100**

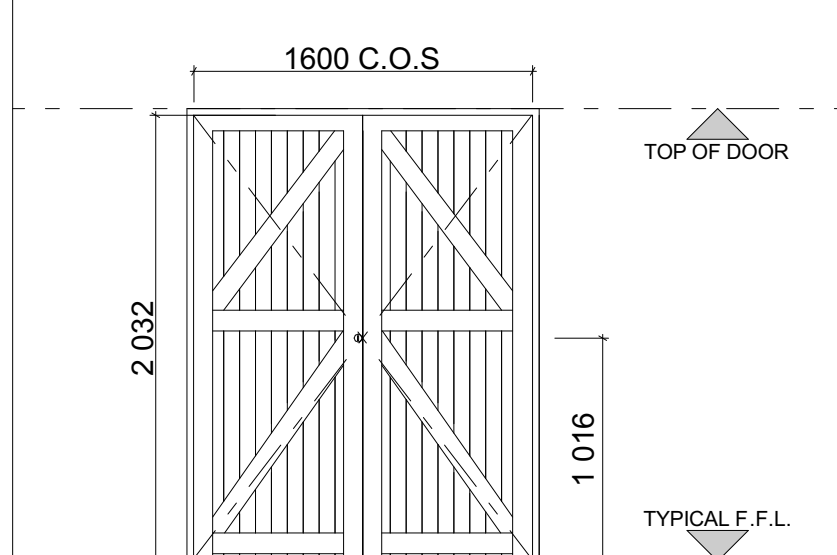


**BLOCK T-
HOME ECONOMIC CLASSROOMS
FIRST FLOOR PLAN - SCALE 1:100**

**REPLACEMENT OF 1x EXTERNAL
DOOR :**

REMOVE DOOR AND REPLACE WITH NEW PER
SPECIFICATION BELOW

DOOR SCHEDULE - EXTERIOR DOOR



ITEM	QTY	UNIT	DESCRIPTION
1	1	EA	DOOR FRAME AND GLASS
2	1	EA	DOOR HANDLE
3	1	EA	DOOR LOCK
4	1	EA	DOOR STOP
5	1	EA	DOOR SILL
6	1	EA	DOOR THRESHOLD
7	1	EA	DOOR GLASS
8	1	EA	DOOR GLASS
9	1	EA	DOOR GLASS
10	1	EA	DOOR GLASS
11	1	EA	DOOR GLASS
12	1	EA	DOOR GLASS
13	1	EA	DOOR GLASS
14	1	EA	DOOR GLASS
15	1	EA	DOOR GLASS
16	1	EA	DOOR GLASS
17	1	EA	DOOR GLASS
18	1	EA	DOOR GLASS
19	1	EA	DOOR GLASS
20	1	EA	DOOR GLASS

BLOCK V3 (SCHOOL HALL) : Scope of Works

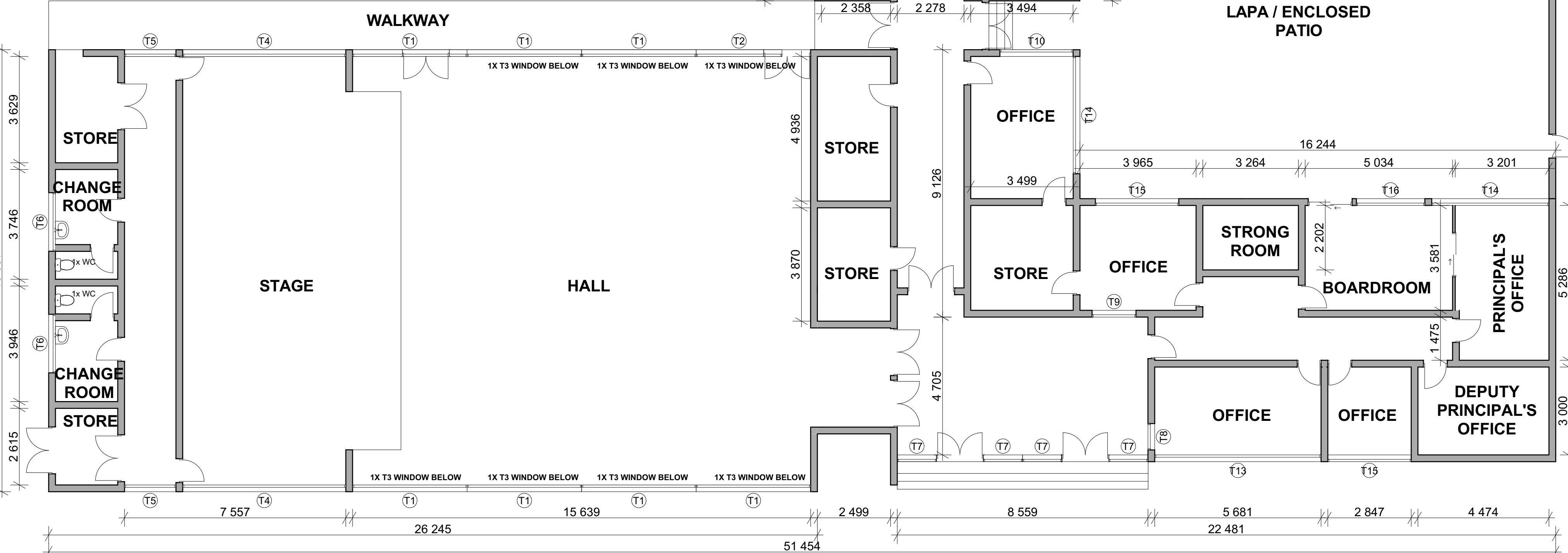
1. Floor finishes on staircases leading to stage are damaged - remove those floor finishes and replace with new to match existing (REFER TO TYPICAL VINYL FLOORING DETAILS)
2. 1 x WC damaged - remove and replace with new to match (REFER TO DETAIL BELOW)
3. 1 x double timber door at staircase is damaged - remove and replace with new to match (REFER TO DETAIL BELOW)

**REPLACEMENT OF 1X DAMAGED
WC**

**REPLACEMENT SANWARE
SPECIFICATIONS:**

WC: Leticia Madison close couple suite colour White, seat and cover bolted to bowl with metal washers and rubber gaskets, 100mm outlet with cistern connected to 15mm water supply with foot of bowl sealed to floor with abo Dow Corning acetoxy silicone sealant. Material: Vitreous China, Pan code: MADBOXDFLOSCSBE.

**BLOCK V3- HALL
FLOOR PLAN - SCALE 1:100**



**BLOCK W1-ADMIN
FLOOR PLAN - SCALE 1:100**

BLOCK W1 (ADMINISTRATION) : Scope of Works

1. In good condition

WINDOW DIMS (mm)
T1 W:3910mm x H:1530mm
T2 W:2923mm x H:1530mm
T3 W:610mm x H:1145mm
T4 W:5570mm x H:1530mm
T5 W:1757mm x H:1530mm
T6 W:2000mm x H:1000mm
T7 W:1390mm x H:2400mm
T8 W:900mm x H:1000mm
T9 W:1500mm x H:900mm
T10 W:2500mm x H:900mm
T11 W:3000mm x H:1500mm
T12 W:1750mm x H:950mm
T13 W:5681mm x H:900mm
T14 W:4000mm x H:900mm
T15 W:2847mm x H:900mm
T16 W:2340mm x H:900mm

**BLOCK W2-LAPA
FLOOR PLAN - SCALE 1:100**

BLOCK W2 (LAPA) : Scope of Works

1. In good condition
2. Corrosion to Chimney Flute (REFER TO DETAIL BELOW)

CORROSION TO CHIMNEYS

Chip out / remove all of the rust and ensure that the surface is free from loose dirt, rust, paint, oil & grease. Fill holes with a suitable putty and allow to cure for 48 hours. Remove all remaining rust and strip paint down to the bare metal. Once cleaned and degreased, apply a coat of primer and when dry, apply two coats of Plascon metal paint to match existing colour, as per manufacturer's recommendations.

IF IT CANNOT BE RESTORED, REPLACE WITH NEW TO MATCH EXISTING.



BLOCK T (CLASSROOMS) : Scope of Works

1. External paintwork in a poor condition, rub down walls, prime and repaint.(REFER TO TYPICAL DETAILS)
2. Roof sheeting is corroding / damaged: replace roof sheeting with new.(REFER TO DETAIL BELOW)
3. Gutters and downpipes are damaged, install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)
4. Fascia and barge boards damaged, remove, make good and install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)
5. Structural Damage noted, refer to Structural Engineer's report.
6. External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match (REFER TO DETAIL BELOW)
7. First floor brickwork balustrade walls are in a poor condition - recommend rubbing down, make good and repainting. Missing sill on top of balustrade to be replaced with new to match. (REFER TO DETAIL BELOW)
8. Ceiling in staircase void is in a poor condition - recommend removing and replacing with new to match.(REFER TO DETAIL BELOW)
9. Some of the classrooms floors are damaged - recommend removing and replacing damaged floor finishes, including new skirtings.(REFER TO TYPICAL VINYL FLOORING DETAILS)
10. Ablutions have no floor finishes - install new floor finishes and skirtings. (REFER TO TYPICAL TILE FLOORING DETAILS)
11. Some of the classrooms ceilings are damaged - recommend removing and replacing damaged ceilings, including for skimming, painting and new cornices.(REFER TO DETAIL BELOW)
12. Rub down & repaint deteriorating railing and handrail in staircases.

DETERIORATION TO ROOF OVERHANG SOFFITS



Carefully remove existing damaged ceilings boards and cornices. Install new gypsum ceiling boards, 6.4mm thick, with PVC cover strips and coved cornices, to be skimmed until smooth and even. Paint with fully washable matt white PVA.

DAMAGED CEILING PANELS OR DAMAGED CORNICES



Carefully remove existing damaged ceilings boards and cornices. Install new gypsum ceiling boards, 6.4mm thick, with PVC cover strips and coved cornices, to be skimmed until smooth and even. Paint with fully washable matt white PVA.

REPLACEMENT OF ROOF SHEETING

Replace with : Safintra 0.55mm thick 700mm cover Saflok 700® 'SUNSET RED' COLORPLUS® interlocking concealed fix roof covering, fixed to timber purlins at 2112mm centres and end-span purlins at 1920mm centres (final spacing to be calculated by an engineer/by means of a SL 700® Clip 21 clips secured to purlins in combination with a suitable Class Safintra approved water head self-tapping fasteners with roof insulation, all in accordance with the manufacturer's recommendations. All aspects to be in strict accordance with the manufacturer's latest published recommendations. Profile measurements and proportions must be in line with the latest Product Specification Manual as published by Safintra SA. Sheet coating: AZ150.

DETERIORATION TO BRICK BALUSTRADE



Replace 1x missing sill/coping to first floor brick balustrade. Rub down, prime and repaint deteriorating paintwork (to match) across entire balustrade.

DAMAGED CEILING PANELS IN STAIR VOID



Carefully remove existing damaged ceilings boards and cornices. Install new gypsum ceiling boards, 6.4mm thick, with PVC cover strips and coved cornices, to be skimmed until smooth and even. Paint with fully washable matt white PVA.

NOTES:
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
2. Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
3. Do not scale this drawing.
4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Rev No:	Date:	Description:	Rev By:
A	14/03/23	For Information Purposes Only	ID

Architect :

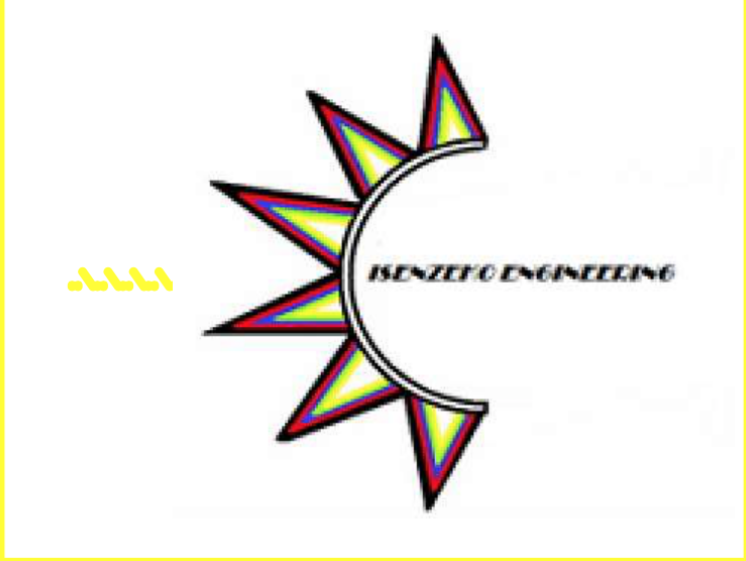
Name :

Signature :

Client :

Name :

Signature :



Project: **CONDITION ASSESSMENT
DR. BOHMER SECONDARY SCHOOL**

Drawing description: **EXISTING BLOCKS:
REFURBISHMENT SCOPE OF WORKS :
S.T.U & V**

Drawn: ISENZKO ENGINEERING

Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number: 082-DRBS-104

Revision: A