

**BLOCK E-NO ACCESS
FLOOR PLAN - SCALE 1:100**

WINDOW DIMS (mm)
T1 W:2760mm x H:1050mm

THE ABOVE NUMBERS ARE AN ESTIMATE
AS WE COULD NOT GAIN ACCESS INTO
SOME OF THE ROOMS / SPACES.

**BLOCK D-NO ACCESS
FLOOR PLAN - SCALE 1:100**

WINDOW DIMS (mm)
T1 W:2760mm x H:1050mm

THE ABOVE NUMBERS ARE AN ESTIMATE
AS WE COULD NOT GAIN ACCESS INTO
SOME OF THE ROOMS / SPACES.

**BLOCK C-NO ACCESS
FLOOR PLAN - SCALE 1:100**

WINDOW DIMS (mm)
T1 W:2760mm x H:1050mm

THE ABOVE NUMBERS ARE AN ESTIMATE
AS WE COULD NOT GAIN ACCESS INTO
SOME OF THE ROOMS / SPACES.

BLOCK C (NO ACCESS) : Scope of Works

1. No access for assessment.
2. External paintwork in a poor condition, rub down walls, prime and repaint.(REFER TO TYPICAL DETAILS)
3. Gutters and downpipes are damaged, install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)
4. Roof sheeting is corroding / damaged: replace roof sheeting with new.(REFER TO DETAIL BELOW)

REPLACEMENT OF ROOF SHEETING

Replace with : Safintra 0,55mm thick 700mm cover Saflok 700® 'RAIN CLOUD' COLORPLUS® interlocking concealed fix roof covering, fixed to timber purlins at 2112mm centres and end-span purlins at 1920mm centres (final spacing to be calculated by an engineer) by means of a SL 700® Clip 21 clips secured to purlins in combination with a suitable Class Safintra approved wafer head self-tapping fasteners with roof insulation, all in accordance with the manufacturer's recommendations. All aspects to be in strict accordance with the manufacturer's latest published recommendations. Profile measurements and proportions must be in line with the latest Product Specification Manual as published by Safintra SA. Sheet coating: AZ150.

BLOCK D (NO ACCESS) : Scope of Works

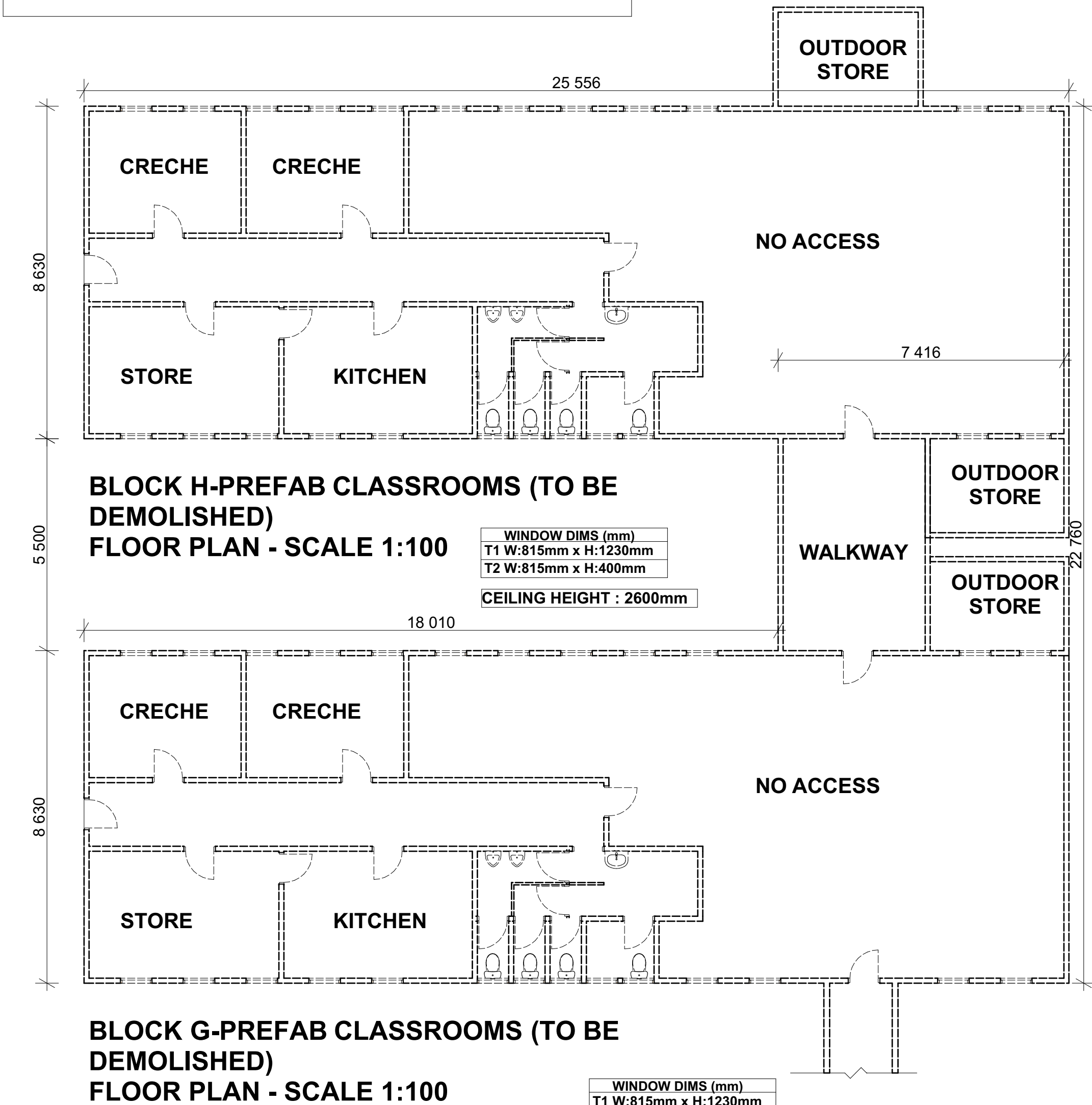
1. No access for assessment.

BLOCK E (NO ACCESS) : Scope of Works

1. No access for assessment.
2. External paintwork in a poor condition, rub down walls, prime and repaint.(REFER TO TYPICAL DETAILS)
3. Gutters and downpipes are damaged, install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)

BLOCK H (CRECHE) : Scope of Works

1. This is a prefab structure with asbestos wall panels - recommend replacing with an appropriate structure as it is being used for dormitory rooms.



**BLOCK H-PREFAB CLASSROOMS (TO BE
DEMOLISHED)
FLOOR PLAN - SCALE 1:100**

WINDOW DIMS (mm)
T1 W:815mm x H:1230mm
T2 W:815mm x H:400mm

CEILING HEIGHT : 2600mm

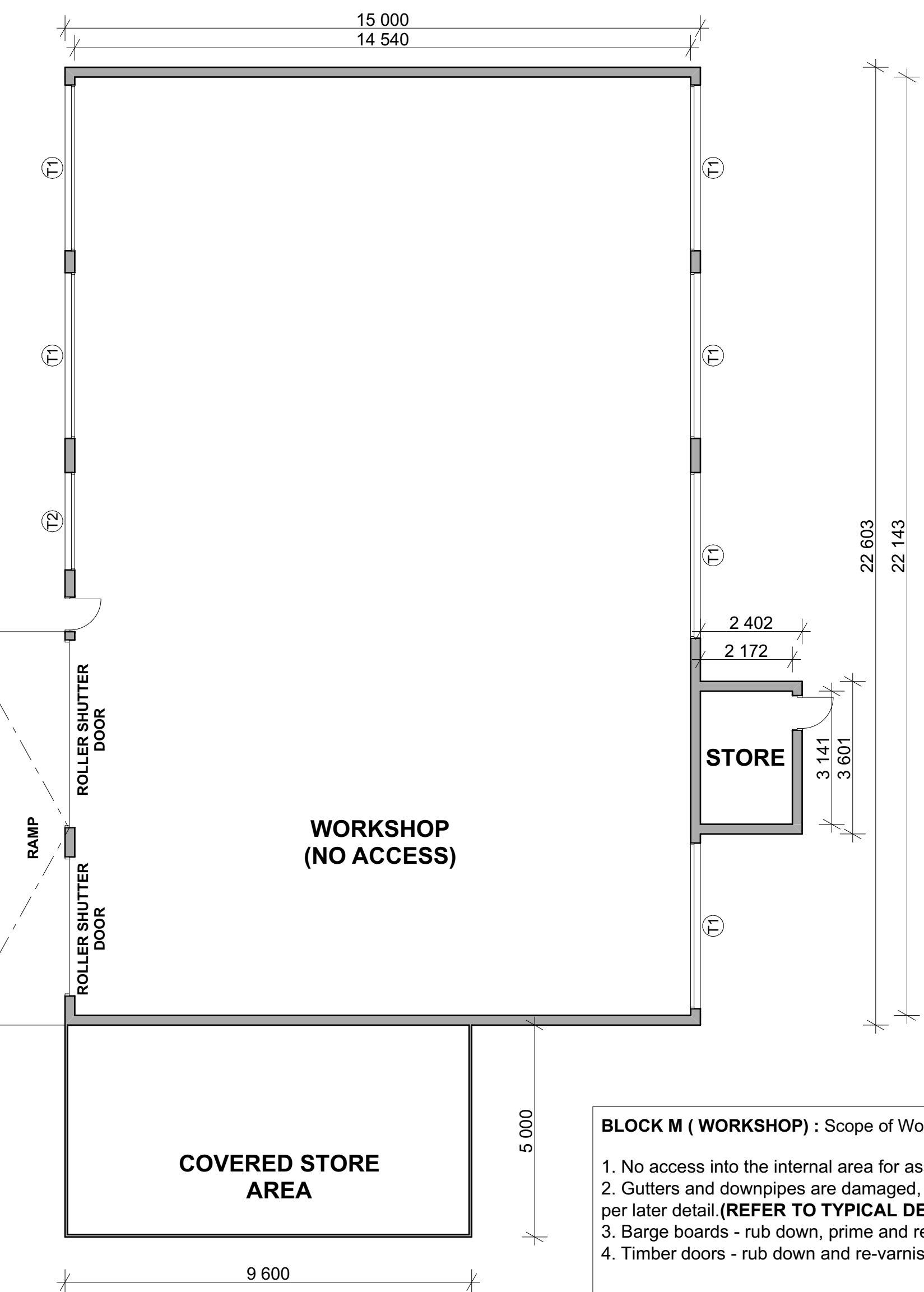
**BLOCK G-PREFAB CLASSROOMS (TO BE
DEMOLISHED)
FLOOR PLAN - SCALE 1:100**

WINDOW DIMS (mm)
T1 W:815mm x H:1230mm
T2 W:815mm x H:400mm

CEILING HEIGHT : 2600mm

BLOCK G (CRECHE) : Scope of Works

1. This is a prefab structure with asbestos wall panels - recommend replacing with an appropriate structure as it is being used for dormitory rooms.

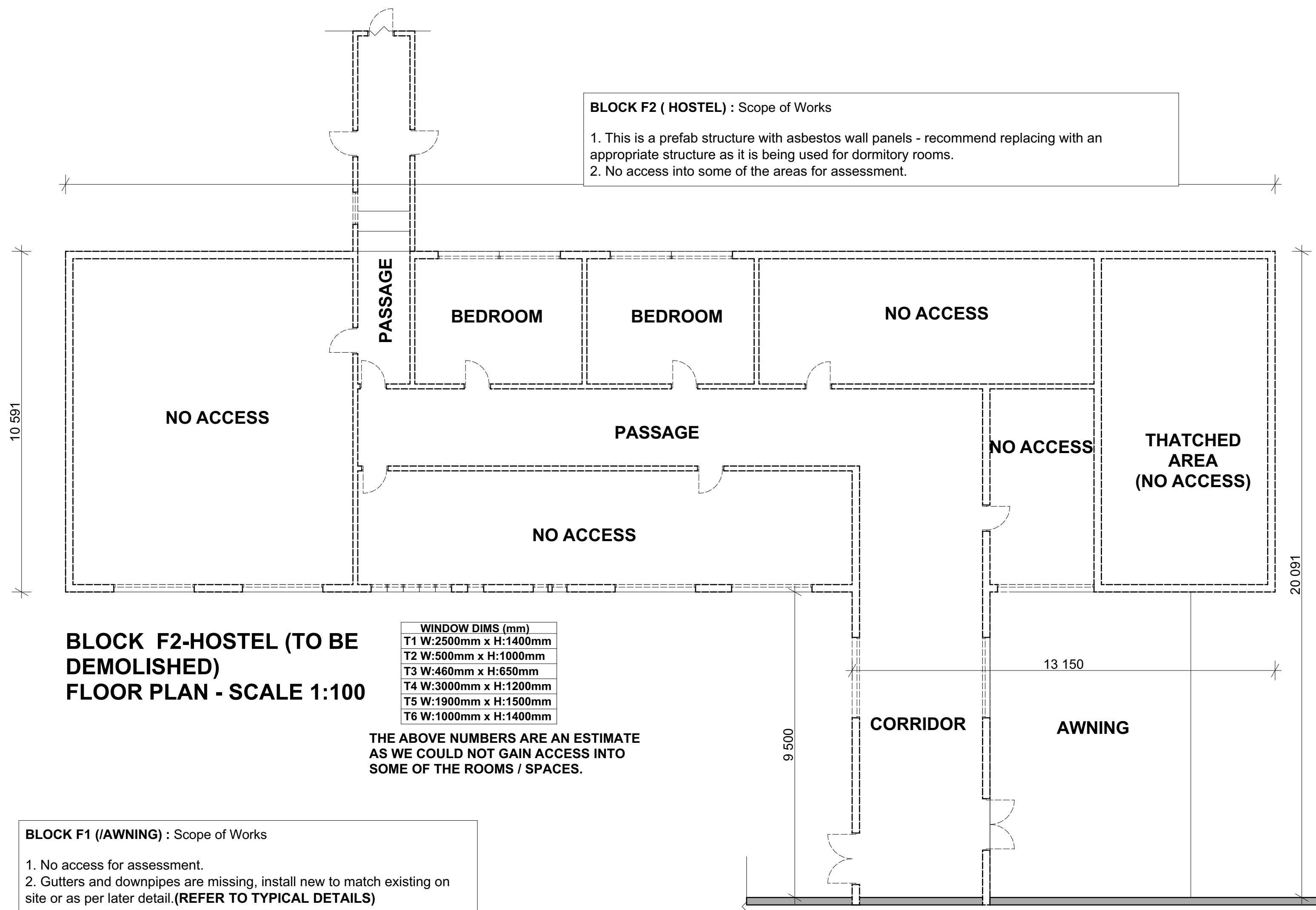


**BLOCK M - WORKSHOP(NO ACCESS)
FLOOR PLAN - SCALE 1:100**

WINDOW DIMS (mm)
T1 W:3910mm x H:1440mm
T2 W:2300mm x H:1440mm

BLOCK M (WORKSHOP) : Scope of Works

1. No access into the internal area for assessment.
2. Gutters and downpipes are damaged, install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)
3. Barge boards - rub down, prime and repaint.(REFER TO TYPICAL DETAILS)
4. Timber doors - rub down and re-varnish.(REFER TO TYPICAL DETAILS)



**BLOCK F2-HOSTEL (TO BE
DEMOLISHED)
FLOOR PLAN - SCALE 1:100**

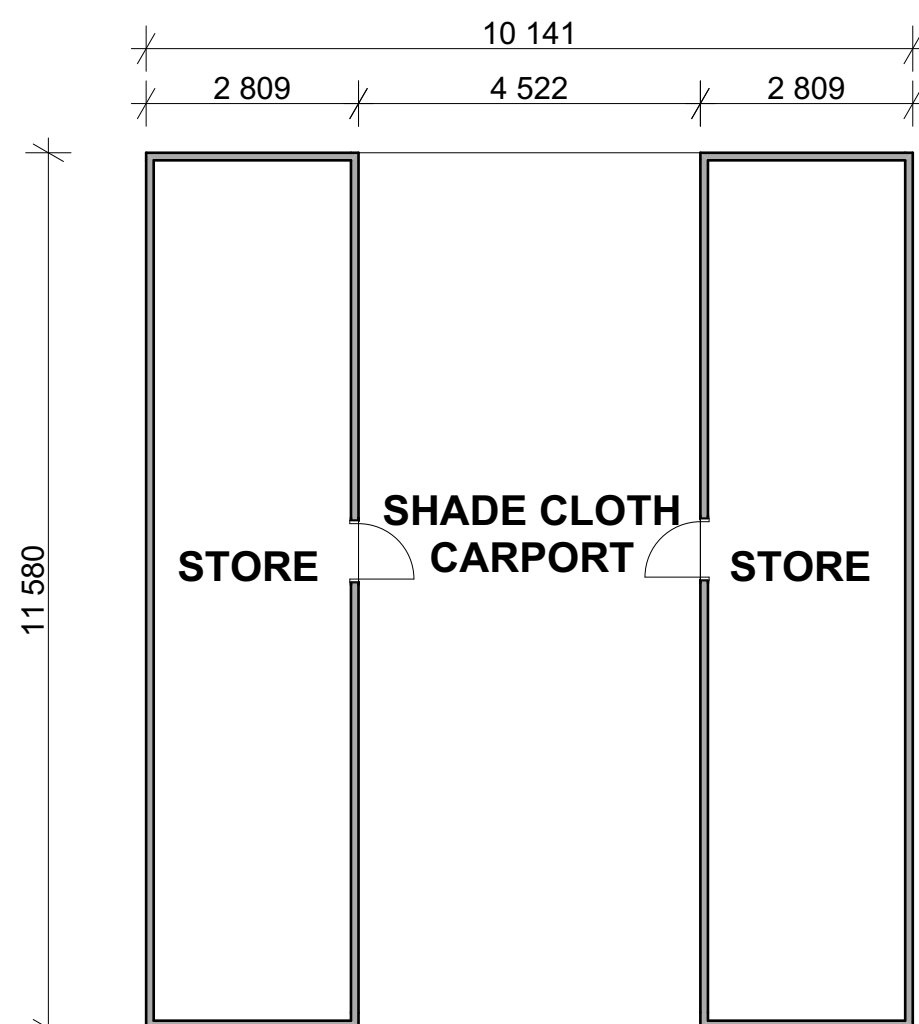
WINDOW DIMS (mm)
T1 W:2500mm x H:1400mm
T2 W:500mm x H:1000mm
T3 W:460mm x H:650mm
T4 W:3000mm x H:1200mm
T5 W:1900mm x H:1500mm
T6 W:1000mm x H:1400mm

THE ABOVE NUMBERS ARE AN ESTIMATE
AS WE COULD NOT GAIN ACCESS INTO
SOME OF THE ROOMS / SPACES.

BLOCK F1 (AWNING) : Scope of Works

1. No access for assessment.
2. Gutters and downpipes are missing, install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)

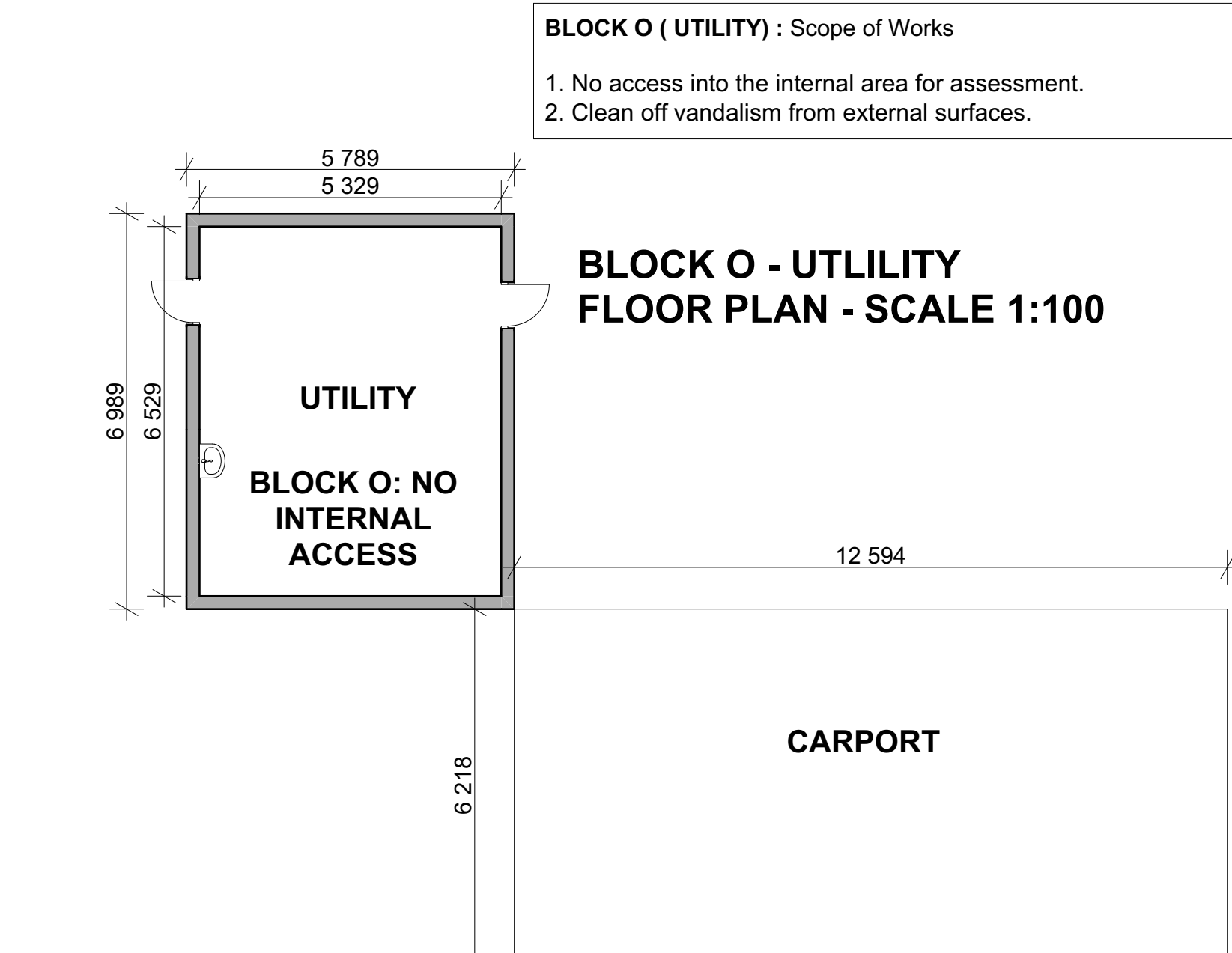
**BLOCK F1-AWNING
FLOOR PLAN - SCALE 1:100**



**BLOCK L - PREFAB
CONTAINER HOME & SHADE
CLOTH STRUCTURE
FLOOR PLAN - SCALE 1:100**

BLOCK L (CARPORT+ PREFAB) : Scope of Works

- 1.Refer to Structural Engineer's report for recommendations.



**BLOCK O - UTILITY
FLOOR PLAN - SCALE 1:100**

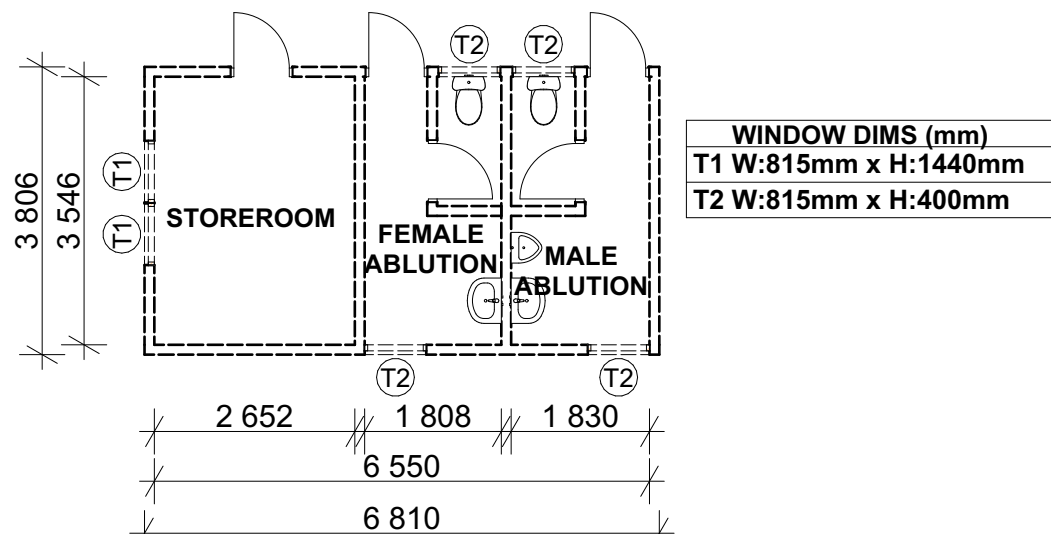
BLOCK O (UTILITY) : Scope of Works

1. No access into the internal area for assessment.
2. Clean off vandalism from external surfaces.

**BLOCK N - CARPORT
FLOOR PLAN - SCALE 1:100**

BLOCK N (CARPORT) : Scope of Works

- 1.Refer to Structural Engineer's report for recommendations.



**BLOCK P - ABLUTIONS (BLOCK
TO BE DEMOLISHED)
FLOOR PLAN - SCALE 1:100**

BLOCK P (ABLUTIONS) : Scope of Works

1. This is a prefab structure in a poor condition and not fit for use - recommend replacing with an appropriate structure.

NOTES:
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
2. Partial Service: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
3. Do not scale this drawing.
4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Revisions:			
Rev No:	Date:	Description:	Rev By:
A	14/03/23	For Information Purposes Only	ID

Architect :

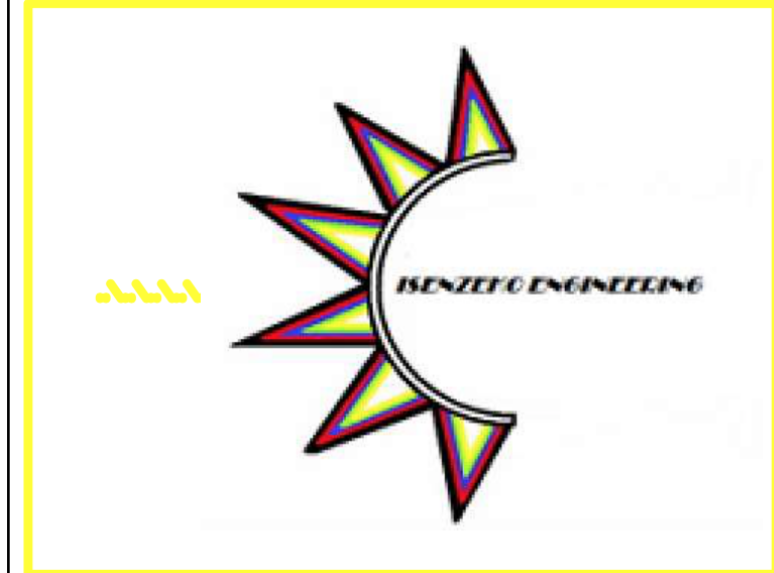
Name :

Signature :

Client :

Name :

Signature :



Project:
**CONDITION ASSESSMENT
DR. BOHMER SECONDARY SCHOOL**

Drawing description:
**EXISTING BLOCKS:
REFURBISHMENT SCOPE OF WORKS :
C,D,E,F,G,H,I,L,M,N,O & P**

Drawn: ISENZEKO ENGINEERING

(A)

Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number: 082-DRBS-101

Revision:

A