

- BLOCK A (HOSTEL):** Scope of Works
- Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
 - External steel staircases, balustrades & landing are corroded - remove and replace with new SANS 10400 compliant fire escape staircases with overhead coverings. Refer to Structural Engineer's report.
 - Chimney at spiral staircase is corroded - remove and replace with new.
 - Wall at spiral staircase is severely stained with rust marks - recommend rubbing down, priming and repainting.
5. Internal floor finishes in a poor condition, remove and replace with new, including skirtings.
6. Internal steps at emergency exit are non-compliant. Recommend installing new balustrade to steps.
7. Internal floor tiles in all ablutions / bathrooms to be removed and replaced with new.
8. Damaged wall tiles in ablutions / bathrooms to be removed and replaced with new to match.
9. Replace all floor tiles to all showers.
10. Peeling & flaking paint to internal walls in ablutions - rub down, prime & repaint.
11. Water damage to ceilings, remove all affected panels and cornices and replace with new to match, including skimming and painting. Roof sheeting and trusses to be inspected for leakage / damage and to be repaired or replaced.
12. Some of the internal walls in a poor condition - rub down, prime & repaint.
13. Structural Damage noted, refer to Structural Engineer's report.
14. Emergency exit timber door on first floor is damaged, to be removed and replaced with new.
15. Water damage to u/s of sills in ablutions - locate leaks and repair, waterproof and repaint.
16. External paintwork in a poor condition, rub down walls, prime and repaint.
17. Creeping plant on airbricks to be removed as it is damaging the external facade.
18. Corrosion to window frames, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing.
19. External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.
20. Roof sheeting is corroding / damaged; replace roof sheeting with new.
21. Fascia and barge boards damaged, remove, make good and install new to match existing on site or as per later detail.
22. Could not gain access into many areas for assessment & inspection.

- BLOCK B (HOSTEL):** Scope of Works
- Roof sheeting is corroding / damaged; replace roof sheeting with new.
 - Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
 - External paintwork in a poor condition, rub down walls, prime and repaint.
 - External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.
 - Water damage & damp to external walls at duct door. Locate source of leak / damp and repair / replace. Waterproof and repaint walls.
 - Corrosion and deterioration to external duct doors. Remove and replace with new.
 - No access into Block B for assessment.
 - From looking through window: ceiling tiles in dining hall in a poor condition - appears to be water damaged - recommend removing and replacing with new to match.

- BLOCK C (NO ACCESS):** Scope of Works
- No access for assessment.
 - External paintwork in a poor condition, rub down walls, prime and repaint.
 - Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
 - Roof sheeting is corroding / damaged; replace roof sheeting with new.

- BLOCK D (NO ACCESS):** Scope of Works
- No access for assessment.

- BLOCK E (NO ACCESS):** Scope of Works
- No access for assessment.
 - External paintwork in a poor condition, rub down walls, prime and repaint.
 - Gutters and downpipes are damaged, install new to match existing on site or as per later detail.

- BLOCK F1 (WALKWAY/AWNING):** Scope of Works
- No access for assessment.
 - Gutters and downpipes are missing, install new to match existing on site or as per later detail.

- BLOCK F2 (HOSTEL):** Scope of Works
- This is a prefab structure with asbestos wall panels - recommend replacing with an appropriate structure as it is being used for dormitory rooms.
 - No access into some of the areas for assessment.

- BLOCK G (CRECHE):** Scope of Works
- This is a prefab structure with asbestos wall panels - recommend replacing with an appropriate structure as it is being used for dormitory rooms.

- BLOCK K (WORKSHOP):** Scope of Works
- Roof sheeting, gutters and downpipes all in a poor condition. Recommend removing and replacing with new to detailed design.
 - Structural damage noted to some of the protruding white box gutters.
 - Damage / missing ceilings to be removed and replaced with new including skimming, painting and cornices.
 - Cracks noted on internal walls, refer to Structural Engineer's report for repair. Once repair work is done, prime and repaint.
 - Replace 2 x damaged double timber door.
 - Replace 1 x damaged steel sink & splashback tiles.
 - External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.
 - Damaged brickwork step edges - replace missing brickwork to match existing and make good.
 - Corrosion to door frames, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing.
 - Bathrooms / ablutions in a poor condition. Water damage & damp on walls. Recommend rubbing down walls, prime and repaint. Locate any leaks, repair / replace and make good. Install new floor finishes.
 - Water ingress from high level windows - investigate reasons for water ingress and waterproof / seal windows.
 - Replace 2x missing trap doors.

- BLOCK L (CARPORT - PREFAB):** Scope of Works
- Refer to Structural Engineer's report for recommendations.

- BLOCK M (WORKSHOP):** Scope of Works
- No access into the internal area for assessment.
 - Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
 - Barge boards - rub down, prime and repaint.
 - Timber doors - rub down and re-varnish.

- BLOCK N (CARPORT):** Scope of Works
- Refer to Structural Engineer's report for recommendations.

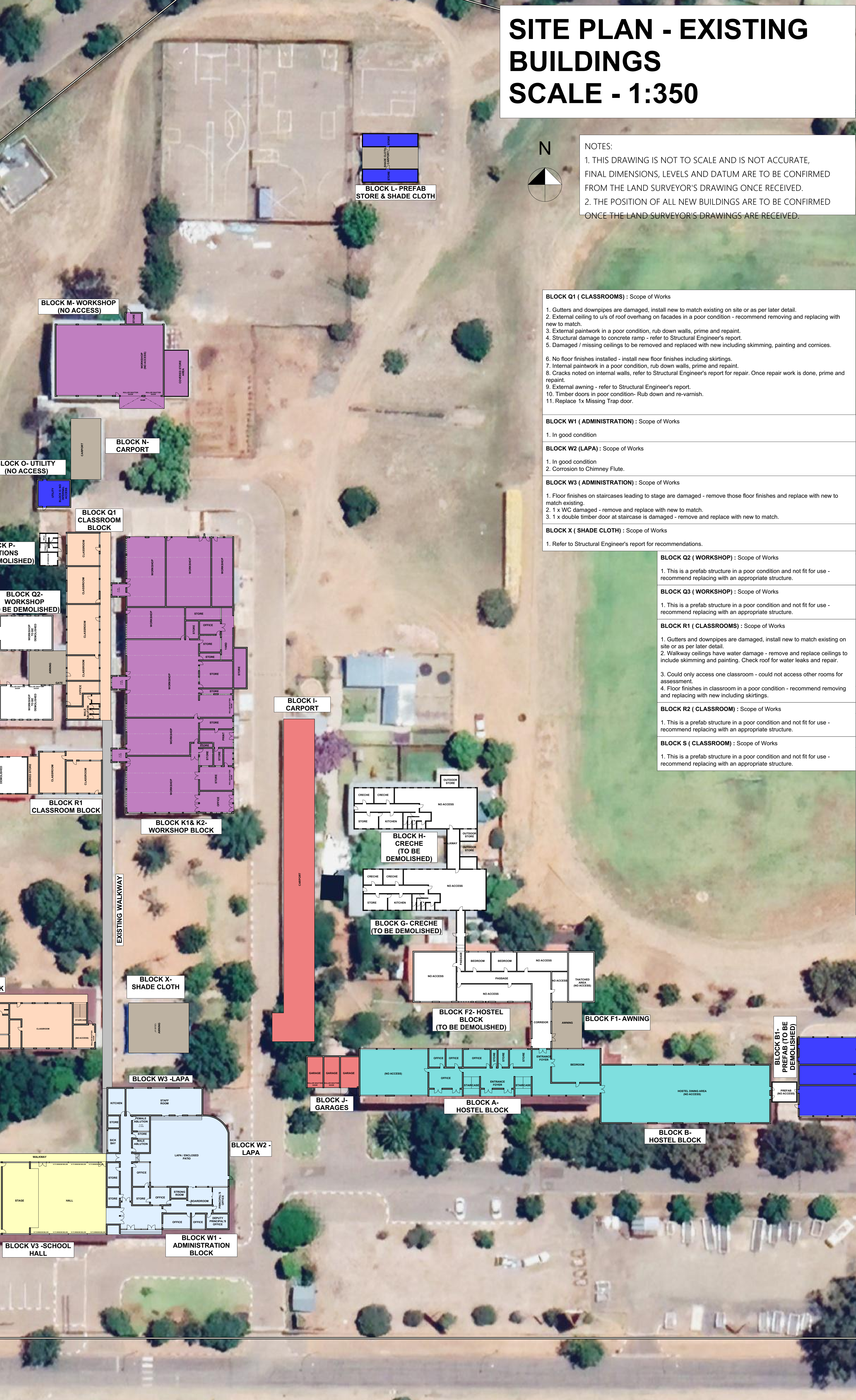
- BLOCK O (UTILITY):** Scope of Works
- No access into the internal area for assessment.
 - Clean off vandalism from external surfaces.

- BLOCK P (ABLUTIONS):** Scope of Works
- This is a prefab structure in a poor condition and not fit for use - recommend replacing with an appropriate structure.

- BLOCK H (CRECHE):** Scope of Works
- This is a prefab structure with asbestos wall panels - recommend replacing with an appropriate structure as it is being used for dormitory rooms.

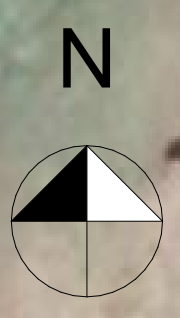
- BLOCK I (CARPORT):** Scope of Works
- Refer to Structural Engineer's report for recommendations.

- BLOCK J (GARAGE):** Scope of Works
- No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 - Roof sheeting is corroding / damaged; replace roof sheeting with new.



SITE PLAN - EXISTING BUILDINGS

SCALE - 1:350



- NOTES:
- THIS DRAWING IS NOT TO SCALE AND IS NOT ACCURATE, FINAL DIMENSIONS, LEVELS AND DATUM ARE TO BE CONFIRMED FROM THE LAND SURVEYOR'S DRAWING ONCE RECEIVED.
 - THE POSITION OF ALL NEW BUILDINGS ARE TO BE CONFIRMED ONCE THE LAND SURVEYOR'S DRAWINGS ARE RECEIVED.

- LEGEND:**
- SCHOOL HALL
 - ADMINISTRATION BLOCK
 - CLASSROOM BLOCKS
 - WORKSHOP
 - PREFAB CLASSROOM
 - NO ACCESS
 - HOSTEL
 - AWNINGS/SHADE CLOTH
 - CARPORT/GARAGE
 - EXISTING WALKWAYS
 - FENCE LINE
 - BUILDINGS TO BE DEMOLISHED

- NOTES:
- All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
 - Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
 - Do not scale this drawing.
 - For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

- BLOCK Q1 (CLASSROOMS):** Scope of Works
- Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
 - External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.
 - External paintwork in a poor condition, rub down walls, prime and repaint.
 - Structural damage to concrete ramp - refer to Structural Engineer's report.
 - Damaged / missing ceilings to be removed and replaced with new including skimming, painting and cornices.
 - No floor finishes installed - install new floor finishes including skirtings.
 - Internal paintwork in a poor condition, rub down walls, prime and repaint.
 - Cracks noted on internal walls, refer to Structural Engineer's report for repair. Once repair work is done, prime and repaint.
 - External awning - refer to Structural Engineer's report.
 - Timber doors in poor condition - Rub down and re-varnish.
 - Replace 1x Missing Trap door.

- BLOCK W1 (ADMINISTRATION):** Scope of Works
- In good condition

- BLOCK W2 (LAPA):** Scope of Works
- In good condition
 - Corrosion to Chimney Flue.

- BLOCK W3 (ADMINISTRATION):** Scope of Works
- Floor finishes on staircases leading to stage are damaged - remove those floor finishes and replace with new to match existing.
 - 1 x WC damaged - remove and replace with new to match.
 - 1 x double timber door at staircase is damaged - remove and replace with new to match.

- BLOCK X (SHADE CLOTH):** Scope of Works
- Refer to Structural Engineer's report for recommendations.

- BLOCK Q2 (WORKSHOP):** Scope of Works
- This is a prefab structure in a poor condition and not fit for use - recommend replacing with an appropriate structure.

- BLOCK Q3 (WORKSHOP):** Scope of Works
- This is a prefab structure in a poor condition and not fit for use - recommend replacing with an appropriate structure.

- BLOCK R1 (CLASSROOMS):** Scope of Works

- Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
- Walkway ceilings have water damage - remove and replace ceilings to include skimming and painting. Check roof for water leaks and repair.
- Could only access one classroom - could not access other rooms for assessment.
- Floor finishes in classroom in a poor condition - recommend removing and replacing with new including skirtings.

- BLOCK R2 (CLASSROOM):** Scope of Works

- This is a prefab structure in a poor condition and not fit for use - recommend replacing with an appropriate structure.

- BLOCK S (CLASSROOM):** Scope of Works
- This is a prefab structure in a poor condition and not fit for use - recommend replacing with an appropriate structure.

- BLOCK T (CLASSROOMS):** Scope of Works
- External paintwork in a poor condition, rub down walls, prime and repaint.
 - Roof sheeting is corroding / damaged; replace roof sheeting with new.
 - Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
 - Fascia and barge boards damaged, remove, make good and install new to match existing on site or as per later detail.
 - Structural Damage noted, refer to Structural Engineer's report.
 - External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.
 - First floor brickwork balustrade walls are in a poor condition - recommend rubbing down, make good and repainting. Missing sill on top of balustrade to be replaced with new to match.
 - Ceiling in staircase void is in a poor condition - recommend removing and replacing with new to match.
 - Some of the classrooms floors are damaged - recommend removing and replacing damaged floor finishes, including new skirtings.
 - Ablutions have no floor finishes - install new floor finishes and skirtings.
 - Some of the classrooms ceilings are damaged - recommend removing and replacing damaged ceilings, including for skimming, painting and new cornices.
 - Rub down & repaint deteriorating railing and handrail in staircases.

- BLOCK T (CLASSROOMS):** Scope of Works
- External paintwork in a poor condition, rub down walls, prime and repaint.
 - Roof sheeting is corroding / damaged; replace roof sheeting with new.
 - Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
 - Fascia and barge boards damaged, remove, make good and install new to match existing on site or as per later detail.
 - Structural Damage noted, refer to Structural Engineer's report.
 - External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.
 - First floor brickwork balustrade walls are in a poor condition - recommend rubbing down, make good and repainting. Missing sill on top of balustrade to be replaced with new to match.
 - Ceiling in staircase void is in a poor condition - recommend removing and replacing with new to match.
 - Some of the classrooms floors are damaged - recommend removing and replacing damaged floor finishes, including new skirtings.
 - Ablutions have no floor finishes - install new floor finishes and skirtings.
 - Some of the classrooms ceilings are damaged - recommend removing and replacing damaged ceilings, including for skimming, painting and new cornices.

- BLOCK U (CLASSROOM):** Scope of Works

- This is a prefab structure in a poor condition and not fit for use - recommend replacing with an appropriate structure.

- BLOCK V1 (COMPUTER LAB):** Scope of Works
- No access into the internal area for assessment.

- BLOCK V2 (CLASSROOM):** Scope of Works
- Gutters and downpipes are damaged, install new to match existing on site or as per later detail.
 - External paintwork in a poor condition, rub down walls, prime and repaint.
 - Some of the roof sheeting is corroding - remove and replace with new.
 - External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.
 - First floor brickwork balustrade walls to be made good for any loose brickwork or coping Rub down, prime and repaint exterior face of balustrade.
 - Ceiling in staircase void is in a poor condition - recommend removing and replacing with new to match.
 - Some of the internal floor finishes are damaged - recommend removing replacing damaged floor finishes, including new skirtings.
 - 1 x damaged / stained urinal to be replaced with new. Stained floor to be cleaned and new floor finishes to be installed in ablutions.
 - Damage to concrete steps - refer to Structural Engineer's report.
 - Replace damaged / cracked window glazing.
 - Missing damaged wall tiles in ablutions to be replaced with new.
 - Missing taps to WHB's to be replaced.
 - Timber doors to be rubbed down and repainted or re-varnished.
 - Some of the internal ceilings are damaged - recommend removing and replacing damaged ceilings, including new cornices-investigate for leaks.
 - Timber doors in poor condition. Rub down & re-varnish.
 - Rub down and Repaint deteriorating steel balustrades and railings along staircases.

Rev No.	Date	Description	Rev By
A	14/03/23	For Information Purposes Only	ID
B	01/08/23	For Information Purposes Only	ID

Architect :

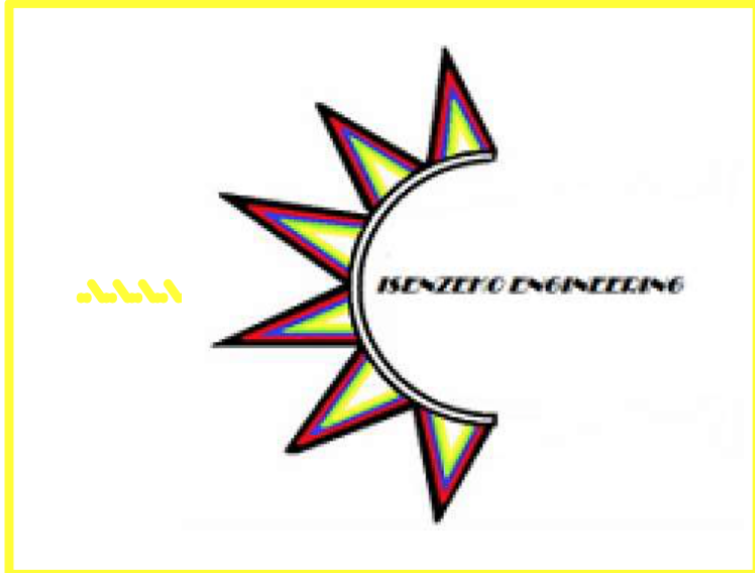
Name :

Signature :

Client :

Name :

Signature :



Project: **CONDITION ASSESSMENT DR. BOHMER SECONDARY SCHOOL**

Drawing description: **SITE DEVELOPMENT PLAN (EXISTING BUILDINGS)**

Drawn: ISENZENGO ENGINEERING

AD

Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number: 082-DRBS-100

Revision: B