

NOTES:
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
2. Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
3. Do not scale this drawing.
4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

BLOCK J -GARAGE
FLOOR PLAN - SCALE 1:100

BLOCK A-HOSTEL
GROUND FLOOR PLAN - SCALE 1:100

THE ABOVE NUMBERS ARE AN ESTIMATE
AS WE COULD NOT GAIN ACCESS INTO
SOME OF THE ROOMS / SPACES.

WINDOW DIMS (mm)
T1 W:840mm x H:1050mm
T2 W:3330mm x H:1500mm
T3 W:3300mm x H:750mm
T4 W:3300mm x H:950mm
T5 W:1655mm x H:950mm
T6 W:3300mm x H:1600mm

BLOCK J (GARAGE) : Scope of Works

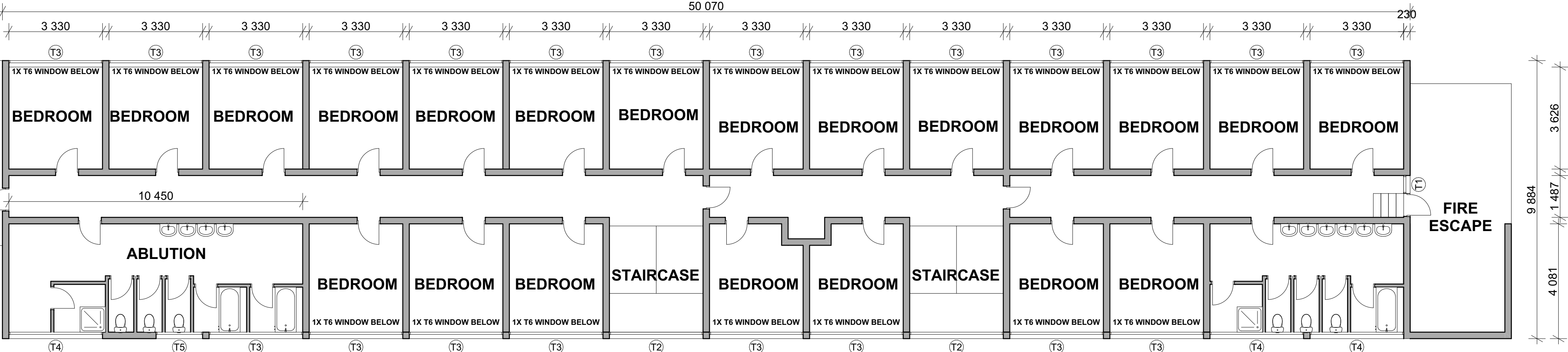
1. No gutters or downpipes installed. Install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)
2. Roof sheeting is corroding / damaged: replace roof sheeting with new.(REFER TO DETAIL BELOW)

REPLACEMENT OF ROOF SHEETING

Replace with : Safintra 0,55mm thick 700mm cover Safflok 700® 'RAIN CLOUD' COLORPLUS® interlocking concealed fix roof covering, fixed to timber purlins at 2112mm centres and end-span purlins at 1920mm centres (final spacing to be calculated by an engineer)by means of a SL 700® Clip 21 clips secured to purlins in combination with a suitable Class Safintra approved wafer head self-tapping fasteners with roof insulation, all in accordance with the manufacturer's recommendations. All aspects to be in strict accordance with the manufacturer's latest published recommendations. Profile measurements and proportions must be in line with the latest Product Specification Manual as published by Safintra SA. Sheet coating: AZ150.

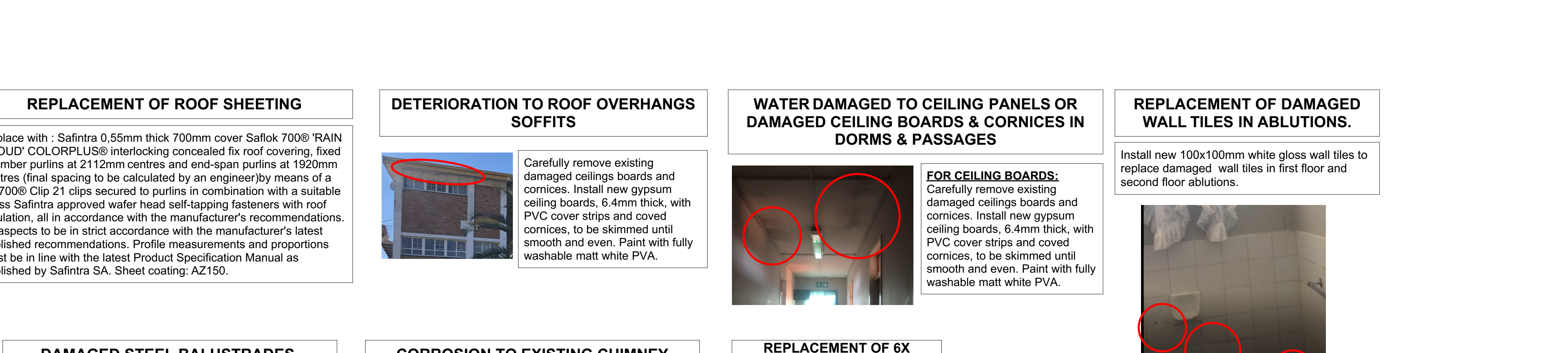
BLOCK A -HOSTEL
FIRST FLOOR PLAN - SCALE 1:100
BUILDING AREA: 526,71m²
WALKWAY AREA: NIL

THE ABOVE NUMBERS ARE AN ESTIMATE
AS WE COULD NOT GAIN ACCESS INTO
SOME OF THE ROOMS / SPACES.



BLOCK A -HOSTEL
SECOND FLOOR PLAN - SCALE 1:100

THE ABOVE NUMBERS ARE AN ESTIMATE
AS WE COULD NOT GAIN ACCESS INTO
SOME OF THE ROOMS / SPACES.



BLOCK A (HOSTEL) : Scope of Works

1. Gutters and downpipes are damaged, install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)
2. External steel staircases, balustrades & landing are corroded - remove and replace with new SANS 10400 compliant fire escape staircases with overhead coverings. Refer to Structural Engineer's report.(REFER TO DETAIL BELOW)
3. Chimney at spiral staircase is corroded - remove and replace with new.(REFER TO DETAIL BELOW)
4. Wall at spiral staircase is severely stained with rust marks - recommend rubbing down, priming and repainting.(REFER TO TYPICAL WALL PAINT DETAIL)
5. Internal floor finishes in a poor condition, remove and replace with new, including skirtings.(REFER TO TYPICAL VINYL FLOORING DETAILS)
6. Internal steps at emergency exit are non-compliant. Recommend installing new balustrade to steps.(REFER TO DETAIL BELOW)
7. Internal floor tiles in all ablutions / bathrooms to be removed and replaced with new.(REFER TO TYPICAL TILE FLOORING DETAILS)
8. Damaged wall tiles in ablutions / bathrooms to be removed and replaced with new to match.(REFER TO DETAIL BELOW)
9. Replace all floor tiles to all showers.(REFER TO DETAIL BELOW)
10. Peeling & flaking paint to internal walls in ablutions - rub down, prime & repaint. (REFER TO TYPICAL DETAILS)
11. Water damage to ceilings, remove all affected panels and cornices and replace with new to match, including skimming and painting. Roof sheeting and trusses to be inspected for leaks / damage and to be repaired or replaced.(REFER TO DETAIL BELOW)
12. Some of the internal walls in a poor condition - rub down, prime & repaint.(REFER TO TYPICAL DETAILS)
13. Structural Damage noted, refer to Structural Engineer's report.
14. Emergency exit timber door on first floor is damaged, to be removed and replaced with new.(REFER TO DETAIL BELOW)
15. Water damage to u/s of slabs in ablutions - locate leaks and repair, waterproof and repaint.(REFER TO DETAIL BELOW)
16. External paintwork in a poor condition, rub down walls, prime and repaint.(REFER TO TYPICAL DETAILS)
17. Creeping plant on airbricks to be removed as it is damaging the external façade.(REFER TO DETAIL BELOW)
18. Corrosion to window frames, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing.(REFER TO TYPICAL DETAILS)
19. External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.(REFER TO DETAIL BELOW)
20. Roof sheeting is corroding / damaged: replace roof sheeting with new.(REFER TO DETAIL BELOW)
21. Fascia and barge boards damaged, remove, make good and install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)
22. Could not gain access into many areas for assessment & inspection.

REPLACEMENT OF ROOF SHEETING

Replace with : Safintra 0,55mm thick 700mm cover Safflok 700® 'RAIN CLOUD' COLORPLUS® interlocking concealed fix roof covering, fixed to timber purlins at 2112mm centres and end-span purlins at 1920mm centres (final spacing to be calculated by an engineer)by means of a SL 700® Clip 21 clips secured to purlins in combination with a suitable Class Safintra approved wafer head self-tapping fasteners with roof insulation, all in accordance with the manufacturer's recommendations. All aspects to be in strict accordance with the manufacturer's latest published recommendations. Profile measurements and proportions must be in line with the latest Product Specification Manual as published by Safintra SA. Sheet coating: AZ150.

DAMAGED STEEL BALUSTRADES,
LANDINGS AND STAIRCASE

Remove and replace with new in compliance with sans 10400 part S, T & M - all to structural engineers detail & design



DETERIORATION TO ROOF OVERHANGS
SOFFITS



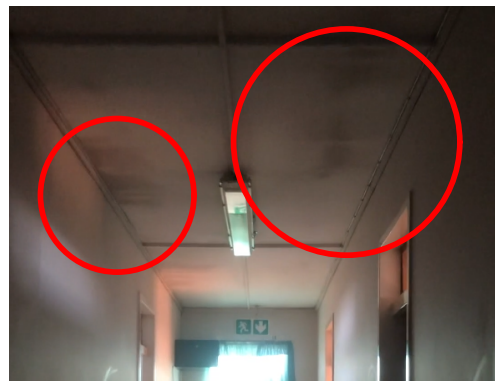
Carefully remove existing damaged ceilings boards and cornices. Install new gypsum ceiling boards, 6.4mm thick, with PVC cover strips and covered cornices, to be skimmed until smooth and even. Paint with fully washable matt white PVA.

CORROSION TO EXISTING CHIMNEY

Carefully remove and replace corroded chimney with new typical galvanised mild steel chimney and flute to match existing size and connections.



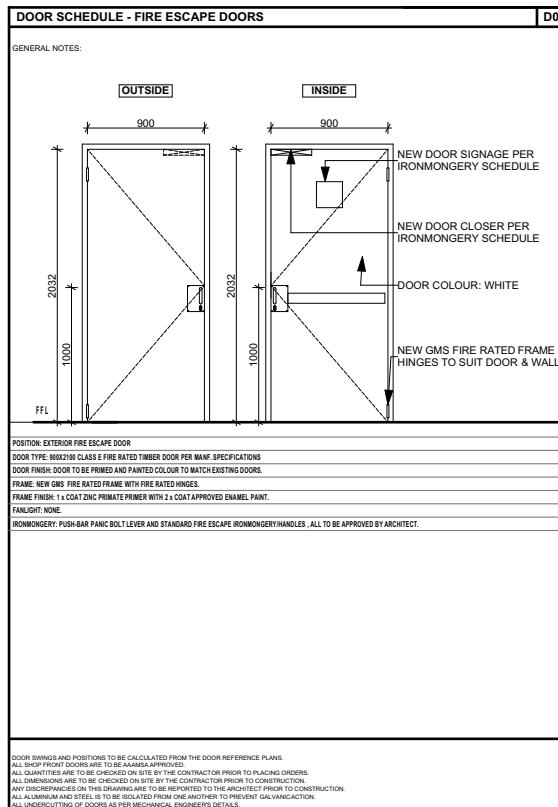
WATER DAMAGED TO CEILING PANELS OR
DAMAGED CEILING BOARDS & CORNICES IN
DORMS & PASSAGES



FOR CEILING BOARDS:
Carefully remove existing damaged ceilings boards and cornices. Install new gypsum ceiling boards, 6.4mm thick, with PVC cover strips and covered cornices, to be skimmed until smooth and even. Paint with fully washable matt white PVA.

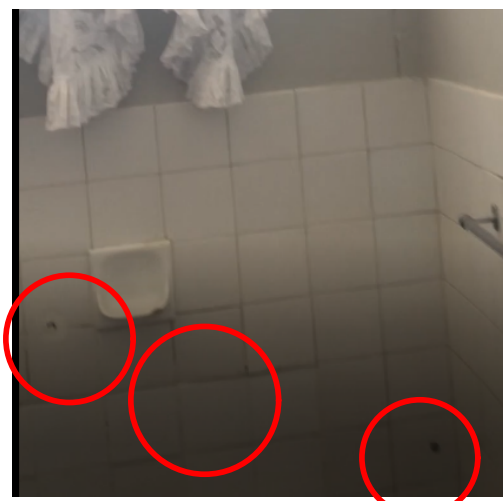
REPLACEMENT OF 6X
EXTERNAL FIRE ESCAPE
DOORS :

Remove 6x existing external fire escape doors and replace with 6x new as per door schedule below.



REPLACEMENT OF DAMAGED
WALL TILES IN ABLUTIONS.

Install new 100x100mm white gloss wall tiles to replace damaged wall tiles in first floor and second floor ablutions.



REPLACEMENT OF FLOOR TILES
TO ALL SHOWERS

Carefully remove existing shower mosaic tiles and replace with new full body standard white 100x100mm non-slip mosaic tiles including grouting.

Safely remove existing floor tiling in showers and replace with new non-glazed, non-slip 500mm x 500mm x 13mm thick clay tiles, Type B1, laid on high polymer cement based adhesives. Specification & colour to be confirmed.



WATER DAMAGED TO UNDERSIDE
OF FLOOR SLABS IN ABLUTIONS.

Find leaks/water ingress from floor above or exterior walls. Isolate leaks and repair accordingly. Rub down , prime and repaint damaged paintwork to match existing.



BLOCK B-HOSTEL DINING
FLOOR PLAN - SCALE 1:100

WINDOW DIMS (mm)
T6 W:3300mm x H:1500mm

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SOME OF THE ROOMS / SPACES.

BLOCK B (HOSTEL) : Scope of Works

1. Roof sheeting is corroding / damaged: replace roof sheeting with new.(REFER TO DETAIL BELOW)
 2. Gutters and downpipes are damaged, install new to match existing on site or as per later detail (REFER TO TYPICAL DETAILS)
 3. External paintwork in a poor condition, rub down walls, prime and repaint.(REFER TO TYPICAL DETAILS)
 4. External ceiling to u/s of roof overhang on facades in a poor condition - recommend removing and replacing with new to match.(REFER TO DETAIL BELOW)
 5. Water damage & damp to external walls at duct door. Locate source of leak / damp and repair / replace. Waterproof and repaint walls (REFER TO DETAIL BELOW)
 6. Corrosion and deterioration to external duct doors. Remove and replace with new (REFER TO DETAIL BELOW)
 7. No access into Block B for assessment.
- From looking through window: ceiling tiles in dining hall in a poor condition - appears to be water damaged - recommend removing and replacing with new to match. (REFER TO DETAIL BELOW)

REPLACEMENT OF ROOF SHEETING

Replace with : Safintra 0,55mm thick 700mm cover Safflok 700® 'RAIN CLOUD' COLORPLUS® interlocking concealed fix roof covering, fixed to timber purlins at 2112mm centres and end-span purlins at 1920mm centres (final spacing to be calculated by an engineer)by means of a SL 700® Clip 21 clips secured to purlins in combination with a suitable Class Safintra approved wafer head self-tapping fasteners with roof insulation, all in accordance with the manufacturer's recommendations. All aspects to be in strict accordance with the manufacturer's latest published recommendations. Profile measurements and proportions must be in line with the latest Product Specification Manual as published by Safintra SA. Sheet coating: AZ150.

WATER DAMAGE TO EXTERNAL
WALLS BY DUCT DOOR

Investigate ,find and fix/repair any leaks. Install new waterproofing or Bricksel as required. Rub down , prime and repaint affected areas



WATER DAMAGE TO DINING AREA CEILING

Investigate ,find and fix/repair any leaks from roof above.



Carefully remove existing damaged ceilings tiles . Install new pelican or equally approved perforated ceiling tiles to match existing, including priming and painting.

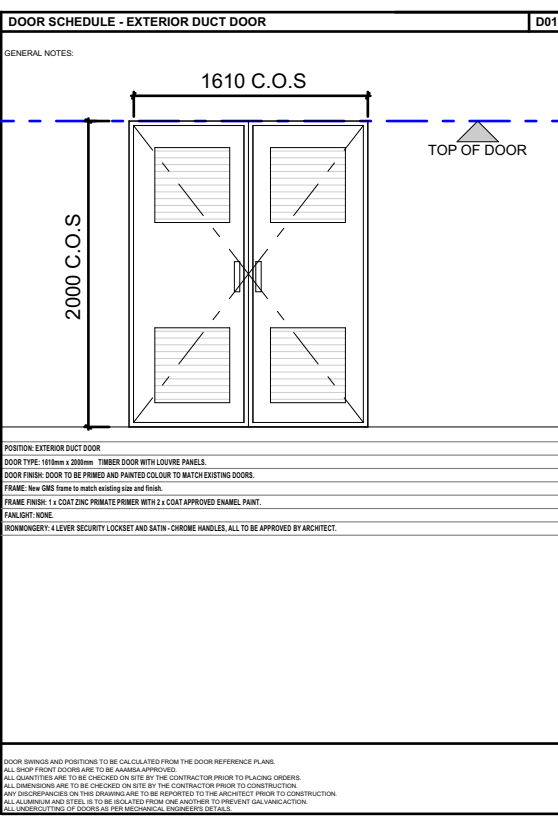
DETERIORATION TO ROOF OVERHANG
SOFFITS



Carefully remove existing damaged ceilings boards and cornices. Install new gypsum ceiling boards, 6.4mm thick, with PVC cover strips and covered cornices, to be skimmed until smooth and even. Paint with fully washable matt white PVA.

REPLACEMENT OF 1X
EXTERNAL DUCT DOORS :

Remove 1x existing external duct doors and replace with 1x new as per door schedule below.



Rev No:	Date:	Description:	Rev By:
A	14/03/23	For Information Purposes Only	ID

Architect :

Name :

Signature :

Client :

Name :

Signature :



Project: **CONDITION ASSESSMENT
DR. BOHMER SECONDARY SCHOOL**

Drawing description: **EXISTING BLOCKS:
REFURBISHMENT SCOPE OF WORKS :
A,B & J**

Drawn: **ISENZEKO ENGINEERING**

Scales: **AS SHOWN ON DRAWING**

FOR INFORMATION

Drawing Number: **082-DBRS-102**

Revision: **A**