

- BLOCK A (SCHOOL HALL) : Scope of Works**
1. Timber doors in a poor condition. Rub down and re-varnish.
 2. Structural Damage noted, refer to Structural Engineer's report.
 3. Cracks noted on internal walls, refer to Structural Engineer's report for repair. Once repair work is done, prime and repaint.
 4. Internal floor finishes in a poor condition and to be removed. Once structural work is complete, replace with new, including skirtings.
 5. Burglar screens to be installed over windows to prevent access into building.
 6. Cracks noted on external walls, refer to Structural Engineer's report for repair. Once repair work is done, make good works
 7. Fire Hose Reel paintwork and relevant water supply pipes to same are deteriorating. Rub down, prime and repaint.
 8. External wasp hive to be carefully removed from female abutment window.
 9. Storeroom lacks any shelving. Install new cupboards / shelving for storage, detailed design to be carried out to explore options for optimising space and installing new shelving based on the end user needs.
 10. Corrosion to some security gates, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing.
 11. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 12. Some barge boards damaged. remove and make good and install new to match existing on site or as per later detail.
 13. Water damage to ceilings, remove all affected panels and cornices and replace with new to match, including skimming and painting. Roof sheeting and trusses to be inspected for leaks / damage and to be repaired or replaced.
 14. Steel awning above kitchen hatch to be rubbed down, primed and re-painted.
 15. All vegetation growth at building facades / entrances to be removed.
 16. Replace missing outward door in kitchen with new to match existing doors. Assess all internal shelving and replace any warped shelving.
 17. Install new light switch cover to 1 x light switch in the kitchen.
 18. Missing toilet seat lid in paraplegic abutment, replace with similar.
 19. It must be noted that the layout of 1 x paraplegic abutment is non-compliant with the SANS 10400 Part S, we recommend removing all internal fittings and repositioning to the correct layout.
 20. It must be noted that the doors to the paraplegic abutments is not opening outwards and the doors are non-compliant with SANS 10400 Part S, we recommend replacing the door with a compliant door and for it to open outwards.
 21. Replace missing ceiling trapdoor in abutment ceiling.
 22. Some plumbing outlets are missing externally by female abutments. Install new adequate/required piping.

- BLOCK B (CLASSROOM) : Scope of Works**
1. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 2. Water damage to ceilings, remove all affected panels and cornices and replace with new to match, including skimming and painting. Roof sheeting and trusses to be inspected for leaks / damage and to be repaired or replaced.
 3. Burglar screens to be installed over windows to prevent access into building.
 4. Internal floor finishes in a poor condition, remove and replace with new, including skirtings.
 5. Some timber half round cornices are deteriorating. Remove and replace to match existing and those which have paint on them are to be re-varnished or painted to match ceiling.
 6. Cracks noted on internal walls, refer to Structural Engineer's report for repair. Once repair work is done, prime and repaint.
 7. Internal paintwork in a poor condition, rub down walls, prime and repaint.
 8. Painted window panels: paint to be cleaned off glazing and new vinyl film to be installed to reduce glare.
 9. Window frames in a poor condition. Rub down, prime & repaint.
 10. Steel door frames in a poor condition. Rub down, prime and repaint.
 11. Replace 4 x window panes with broken/cracked glazing.
 12. Timber doors in a poor condition. Rub down and re-varnish.

- BLOCK C (ABLUTIONS) : Scope of Works**
1. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 2. Leaks noted - investigate all plumbing for leaks, rectify leaks but if not possible, replace plumbing where required, as per wet services engineer's details.
 3. Some wall and floor tiles are missing. Install new to match existing.
 4. Replace 1 x broken window glazing pane.
 5. Vandalism noted on walls and doors. Rub down all timber doors, prime and repaint or re-varnish.
 6. Timber doors in a poor condition. Rub down, prime and repaint.
 7. Steel door frames in a poor condition. Rub down, prime and repaint.
 8. Replace any toilet cistern lids / seat lids / seats which are missing.
 9. Replace 1 x damaged steel urinal and tiles around urinal.
 10. Outdoor tap and water pipe leaks noted. Investigate all plumbing for leaks, rectify leaks but if not possible, replace plumbing where required and provide adequate drainage, as per engineer's details.
 11. Install new abutment signage

- BLOCK D (CLASSROOM) : Scope of Works**
1. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 2. Water damage to ceilings, remove all affected panels and cornices and replace with new to match, including skimming and painting. Roof sheeting and trusses to be inspected for leaks / damage and to be repaired or replaced.
 3. Burglar screens to be installed over windows to prevent access into building.
 4. Replace 3 x broken / loose window glazing panes.
 5. Internal paintwork in a poor condition, rub down walls, prime and repaint.
 6. Timber doors in a poor condition. Rub down and re-varnish.
 7. Damage to ceilings, remove all affected panels and cornices and replace with new to match, including skimming and painting.
 8. Some steel door frames in a poor condition. Rub down, prime and repaint.
 9. Internal floor finishes in a poor condition, remove and replace with new, including skirtings.
 10. Painted window panels: paint to be cleaned off glazing and new vinyl film to be installed to reduce glare.

- BLOCK E (KITCHEN) : Scope of Works**
1. Demolish and reconstruct entire block.

- BLOCK F (CARPORT) : Scope of Works**
1. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 2. Some columns exhibit paintwork deterioration. Rub down, prime and repaint. Refer to structural engineer's report for further specifications.

- BLOCK G (ADMINISTRATION) : Scope of Works**
1. Some downpipes are missing. Install new to match existing on site or as per later detail.(REFER TO TYPICAL DETAILS)
 2. Existing exterior pinboards / noticeboard are damaged. Remove and install new pinboard.(REFER TO DETAIL BELOW)
 3. Internal floor finishes: passage in a poor condition and to be removed. Once structural work is complete, replace with new, including skirtings.(REFER TO TYPICAL DETAILS)
 4. Existing shelving insufficient for needs, remove and install new cupboards / shelving for storage, detailed design to be carried out to explore options for optimising space and installing new shelving based on the end user needs.(REFER TO DETAIL BELOW)
 5. Cracks noted on internal walls, refer to Structural Engineer's report for repair. Once repair work is done, prime and repaint.(REFER TO TYPICAL DETAILS)
 6. Structural Damage noted, refer to Structural Engineer's report.
 7. Water damage to ceilings, remove all affected panels and cornices and replace with new to match, including skimming and painting. Roof sheeting and trusses to be inspected for leaks / damage and to be repaired or replaced.(REFER TO DETAIL BELOW)
 8. All face brick facades are to be power washed to clean off vandalism, dirt & marks. Loose or cracked plaster to be chipped away and replaced with new plaster and surface finish to match existing surrounding.
 9. Steel door frames in a poor condition. Rub down, prime and repaint.(REFER TO TYPICAL DETAILS)
 10. Paint all timber ceiling cornices same colour to match ceiling.(REFER TO DETAIL BELOW)
 11. Water damage to walls & pipe at urinals, locate leaks and repair or replace.(REFER TO DETAIL BELOW)
 12. Replace any missing cistern lids, toilet seats and toilet lids. (REFER TO DETAIL BELOW)
 13. Replace missing splashback tiles above WHB, with new to match. (REFER TO DETAIL BELOW)
 14. Some WC's missing components. Replace with new.(REFER TO DETAIL BELOW)
 15. Electrical cables in staff room and admin offices to be encased and concealed in a conduit.(REFER TO DETAIL BELOW)
 16. 1 x waste water pipe paintwork is corroding and in a poor condition. Replace with new waste water pipe.(REFER TO DETAIL BELOW)
 17. 1 x light switch in staff room to be replaced with new.

- BLOCK H (CLASSROOM) : Scope of Works**
1. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 2. Internal floor finishes in a poor condition, remove and replace with new, including skirtings.
 3. Cracks noted on internal walls, refer to Structural Engineer's report for repair. Once repair work is done, prime and repaint.
 4. Painted window panels: paint to be cleaned off glazing and new vinyl film to be installed to reduce glare.
 5. Paint on window glazing from painting of window frames - neatly clean off paint from glazing.
 6. Replace all deteriorating window putty fill with new silicon beading.
 7. Replace any damaged ceiling panels with new to match.
 8. All internal wall paint to be carefully cleaned off dirt and vandalism.
 9. Replace 3 x broken window glazing panes.
 10. Deteriorating door frames and security gates - rub down, prime and repaint.
 11. Paint all timber ceiling cornices same colour to match ceiling.
 12. Timber doors in a poor condition. Rub down and re-varnish.
 13. All face brick facades are to be power washed to clean off vandalism, dirt & marks. Loose or cracked plaster to be chipped away and replaced with new plaster and surface finish to match existing surrounding.
 14. Outdoor tap and water pipe leaks noted. Investigate all plumbing for leaks, rectify leaks but if not possible, replace plumbing where required and provide adequate drainage, as per engineer's details.
 15. Noted birds nest in walkway trusses. Nest to be carefully removed

- BLOCK I (ABLUTIONS) : Scope of Works**
1. No downpipes installed. Install new to match existing on site or as per later detail.
 2. Internal timber doors to be rubbed down, primed and repainted.
 3. Leaks noted - investigate all plumbing for leaks, rectify leaks but if not possible, replace plumbing where required, as per wet services engineer's details.
 4. Replace and install new timber doors for all entrances including new door ironmongery
 5. Urinals in a poor condition, remove and replace with new, including taps / fittings.
 6. Noted some missing floor and wall tiles. Install new to match existing
 7. Install new abutment signage

- BLOCK J (ABLUTIONS) : Scope of Works**
1. Storeroom lacks any shelving. Install new cupboards / shelving for storage, detailed design to be carried out to explore options for optimising space and installing new shelving based on the end user needs.
 2. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 3. Structural Damage noted, refer to Structural Engineer's report.
 4. Replace missing ceiling trapdoor in storeroom ceiling.
 5. Noted damaged waste water pipe to be repaired.
 6. 1 x damaged urinal to be removed and replaced with new.
 7. All vegetation growth at building facades / entrances to be removed.
 8. Missing Showerhead: Replace with new to match existing

- BLOCK L (CLASSROOM) : Scope of Works**
1. Block in poor condition. Demolish entire block.

- BLOCK M (CLASSROOM) : Scope of Works**
1. Prefabricated structure.

- BLOCK K (CLASSROOM) : Scope of Works**
1. Structural Damage noted, refer to Structural Engineer's report.
 2. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 3. Noted severe damage to some of the timber doors. Remove and install new including new door ironmongery
 4. Internal floor finishes in a poor condition and to be removed. Once structural work is complete, replace with new, including skirtings.
 5. Cracks noted on internal walls, refer to Structural Engineer's report for repair. Once repair work is done, prime and repaint.
 6. Noted some damaged and missing cornices. Remove / replace and install new to match existing.
 7. Existing shelving insufficient for needs, remove and install new cupboards / shelving for storage, detailed design to be carried out to explore options for optimising space and installing new shelving based on the end user needs.
 8. Window sills deteriorating, rub down and make good.
 9. All Exposed electrical cables to be encased and concealed in a conduit.
 10. Water damage to ceilings, remove all affected panels and cornices and replace with new to match, including skimming and painting. Roof TILES and trusses to be inspected for leaks / damage and to be repaired or replaced.
 12. Replace 1 x light fittings in passage.
 13. Replace any damaged plugpoints along structural damage.
 14. Clean off vandalism from fire equipment.
 15. All face brick facades are to be power washed to clean off vandalism, dirt & marks. Loose or cracked plaster to be chipped away and replaced with new plaster and surface finish to match existing surrounding.
 16. Replace 5 x broken window glazing panes.
 17. Timber doors in a poor condition. Rub down and re-varnish.

SITE PLAN - EXISTING BUILDINGS

SCALE - 1:200

- NOTES:
1. THIS DRAWING IS NOT TO SCALE AND IS NOT ACCURATE. FINAL DIMENSIONS, LEVELS AND DATUM ARE TO BE CONFIRMED FROM THE LAND SURVEYOR'S DRAWING ONCE RECEIVED.
 2. THE POSITION OF ALL NEW BUILDINGS ARE TO BE CONFIRMED ONCE THE LAND SURVEYOR'S DRAWINGS ARE RECEIVED.

- LEGEND:**
- CARPORT
 - ADMINISTRATION BLOCK
 - CLASSROOM BLOCKS
 - ABLUTIONS
 - SCHOOL HALL
 - EXISTING WALKWAYS
 - FENCE LINE
 - BLOCKS TO BE DEMOLISHED

- NOTES:
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
 2. Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
 3. Do not scale this drawing.
 4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Revisions:			
Rev No:	Date:	Description:	Rev By:
A	18/02/23	For Information Purposes Only	ID

Architect :

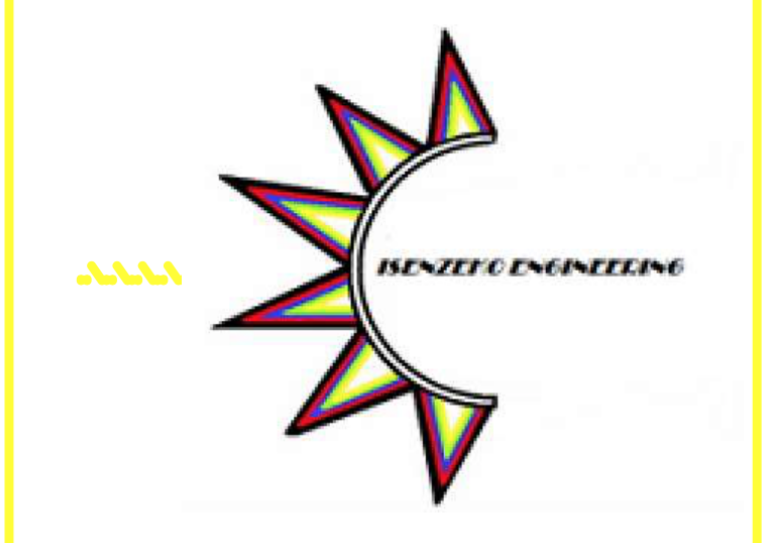
Name :

Signature :

Client :

Name :

Signature :



Project: **CONDITION ASSESSMENT RESEAMOHETSE PRIMARY SCHOOL**

Drawing description:

SITE DEVELOPMENT PLAN (EXISTING BLOCKS)

Drawn:	ISENZENGO ENGINEERING	(AD)
Scales:	AS SHOWN ON DRAWING	
FOR INFORMATION		
Drawing Number:	082-RSPS-100	Revision:
		B