

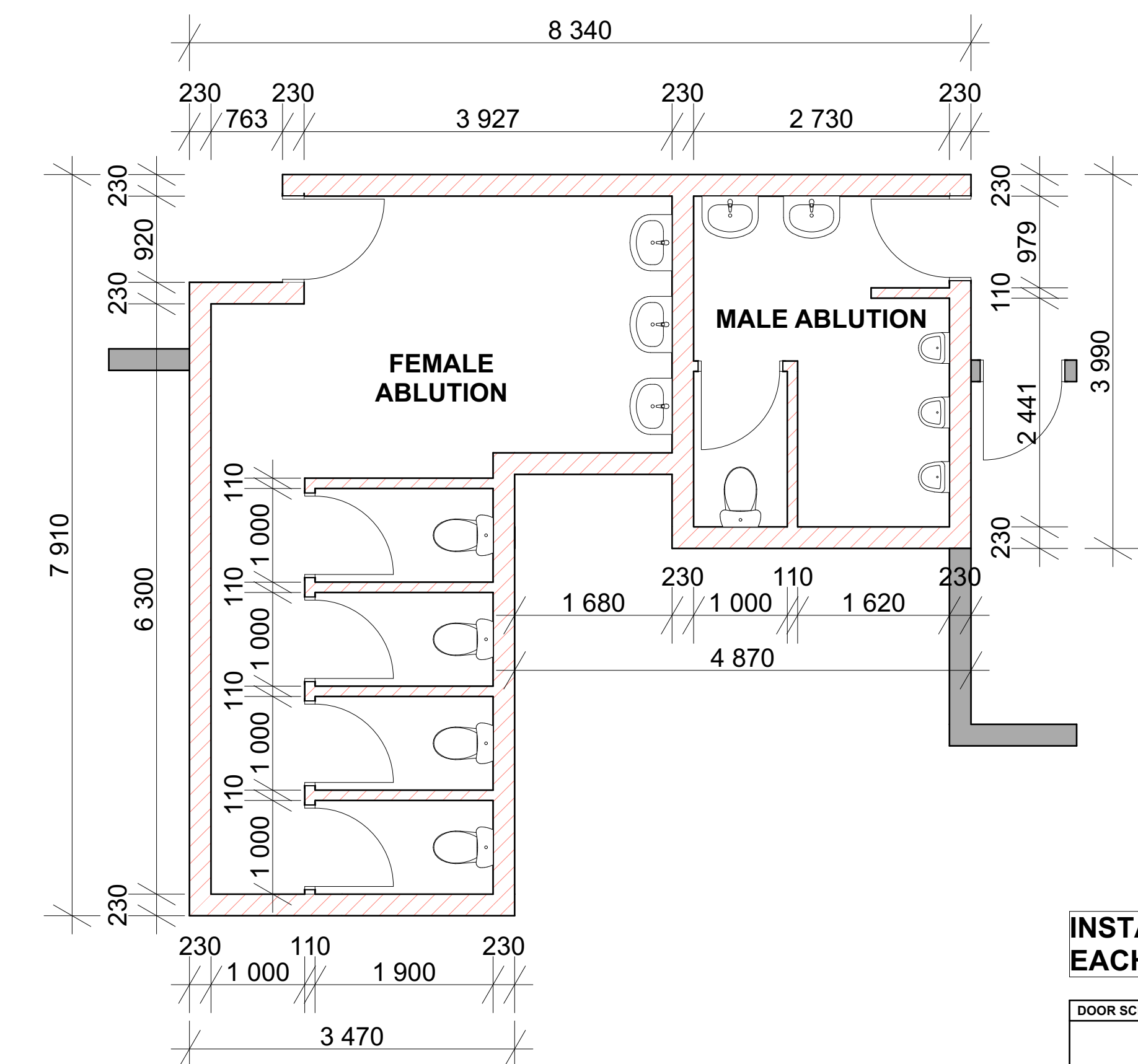
BLOCK J - DINING & KITCHEN
GROUND FLOOR PLAN
SCALE 1:100

| DINING + KITCHEN + TUCKSHOP + HALL + STORE + ABLUTIONS: | |
|---|---|
| WINDOW SCHEDULE: | WINDOW SCHEDULE: |
| T1: HIGH LEVEL WINDOW: W:3600mm x H:2000mm - THE HEIGHT IS AN ESTIMATE) | T6: HIGH LEVEL WINDOW: W:3300mm x H:1000mm - THE HEIGHT IS AN ESTIMATE) |
| T2: W:900mm x H:900mm | T7: HIGH LEVEL WINDOW: W:3380mm x H:1000mm - THE HEIGHT IS AN ESTIMATE) |
| T3: W:1200mm x H:1600mm | T8: HIGH LEVEL WINDOW: W:3390mm x H:1000mm - THE HEIGHT IS AN ESTIMATE) |
| T4: W:500mm x H:500mm | T9: W:1750mm x H:1300mm |
| T5: W:1000mm x H:500mm | T10: W:5598mm x H:2100mm |
| DOOR SCHEDULE: | DOOR SCHEDULE: |
| D1: EXTERNAL DOORS: DOUBLE DOOR WITH GLAZING SIDELIGHTS AND TOPLIGHTS (W:3600mm x H:2400mm) | D4: EXTERNAL DOORS: DOUBLE DOOR WITH GLAZING SIDELIGHTS AND TOPLIGHTS (W:3300mm x H:3000mm) THE HEIGHT IS AN ESTIMATE |
| D2: EXTERNAL DOORS: DOUBLE DOOR WITH GLAZING SIDELIGHTS AND TOPLIGHTS (W:3900mm x H:2800mm) | D5: EXTERNAL DOORS: DOUBLE DOOR WITH GLAZING SIDELIGHTS AND TOPLIGHTS (W:3380mm x H:3000mm) THE HEIGHT IS AN ESTIMATE |
| D3: ROLLER SHUTTER SERVING HATCH (W:5800mm x H:980mm) | D6: EXTERNAL DOORS: DOUBLE DOOR WITH GLAZING SIDELIGHTS AND TOPLIGHTS (W:3390mm x H:3000mm) THE HEIGHT IS AN ESTIMATE |
| | D7: EXTERNAL DOORS: TWO DOORS WITH TOPLIGHTS (W:1750mm x H:3000mm) THE HEIGHT IS AN ESTIMATE |
| | D8: EXTERNAL DOORS: FOUR DOORS WITH TOPLIGHTS (W:3325mm x H:3000mm) THE HEIGHT IS AN ESTIMATE |
| | D9: EXTERNAL DOORS: DOUBLE DOOR WITH TOPLIGHTS AND SIDELIGHTS |



BLOCK K - HALL
GROUND FLOOR PLAN
SCALE 1:100

AS PER ENGINEER'S RECOMMENDATIONS ENTIRE FEMALE AND MALE ABLUTIONS AT HALL ENTRANCE IS TO BE DEMOLISHED AND REBUILT.



REPLACE SANWARE:

Basins: Install 3 x new WHB per ablution - Lecico Atlas 50cm basin in white vitreous china pre-punched for 2 x tap holes. W: 500, H:175 and D: 410
Taps: Each sink to be fitted with 2 x Cobra star pillar taps.
Mirrors: 1 x mirror per basin - new 4mm polished mirrors 300 x 200mm.
Urinals: Remove existing and install new urinals - Lecico Atlas BS60 white vitreous china urinals with top entry spreaders, wall brackets and waste. W: 410, H:665 and D: 315.
WC: Lecico Madison close couple suite colour White, seat and cover bolted to bowl with metal washers and rubber gaskets, 100mm outlet with cistern connected to 15mm water supply with foot of bowl sealed to floor with abe Dow Corning aceoxley silicone sealant. Material: Vitreous China, Pan code: MADBCXDFLUSCSBE.

REPLACE WALL AND FLOOR TILES WITH NEW:

Remove existing wall and floor tiles and replace with new as follows: wall tiles to be 400 x 400 salt and pepper wall tiles, spec to be confirmed. 5 rows high around entire ablution interior walls.
Floor tiles to be 400 x 400 salt and pepper tiles. Spec to be confirmed.

REMAINDER OF WALLS ABOVE TILING TO BE PLASTERED, PRIMED AND PAINTED.

- BLOCK J - DINING AND KITCHEN: Scope of Works**
1. Water damage to some of the wall cladding panels - remove and replace with new to match. REFER TO IMAGE BELOW.
 2. Water damage and peeling paint on the kitchen walls - rub down paint and repaint. REFER TO IMAGE BELOW.
 3. WHB in kitchen in a poor condition - remove and replace with new. REFER TO SPEC BELOW.
 4. Structural damage to floors in tuckshop - refer to Structural Engineer's report.
 5. Flaking & peeling paint to walls and ceilings in passage / store & tuckshop in kitchen - rub down, prime and repaint.
 6. Rub down and repaint doors leading into kitchen. REFER TO IMAGES BELOW.
 7. Additional coat of paint required to ceiling in kitchen.
 8. Some ceiling panels in dining hall are damaged. Remove and replace with new. REFER TO IMAGE BELOW.

- BLOCK K - HALL: Scope of Works**
1. Peeling paint on ceiling in main hall - rub down, prime and repaint. REFER TO IMAGE BELOW.
 2. Timber floors to be polished in main hall and stage.
 3. Walls and ceiling in stage and backstage in a poor condition (water damage). Recommend removing and replacing ceilings to match, including for skimming, painting and cornices. All light and stage fixtures to be re-used and positioned as is currently. Rub down walls, prime and repaint. Check roof sheeting for leaks and repair / replace. REFER TO IMAGES BELOW.
 4. As per Structural Engineer's report - due to extensive damage on toilets, they are to be reconstructed - to match existing, as per detailed design. REFER TO SPECS BELOW.
 5. No gutters or downpipes installed. Install new to match existing on site or as per later detail.
 6. Concrete step leading to hall is damaged - refer to structural engineer's report for repairs. REFER TO IMAGE BELOW.

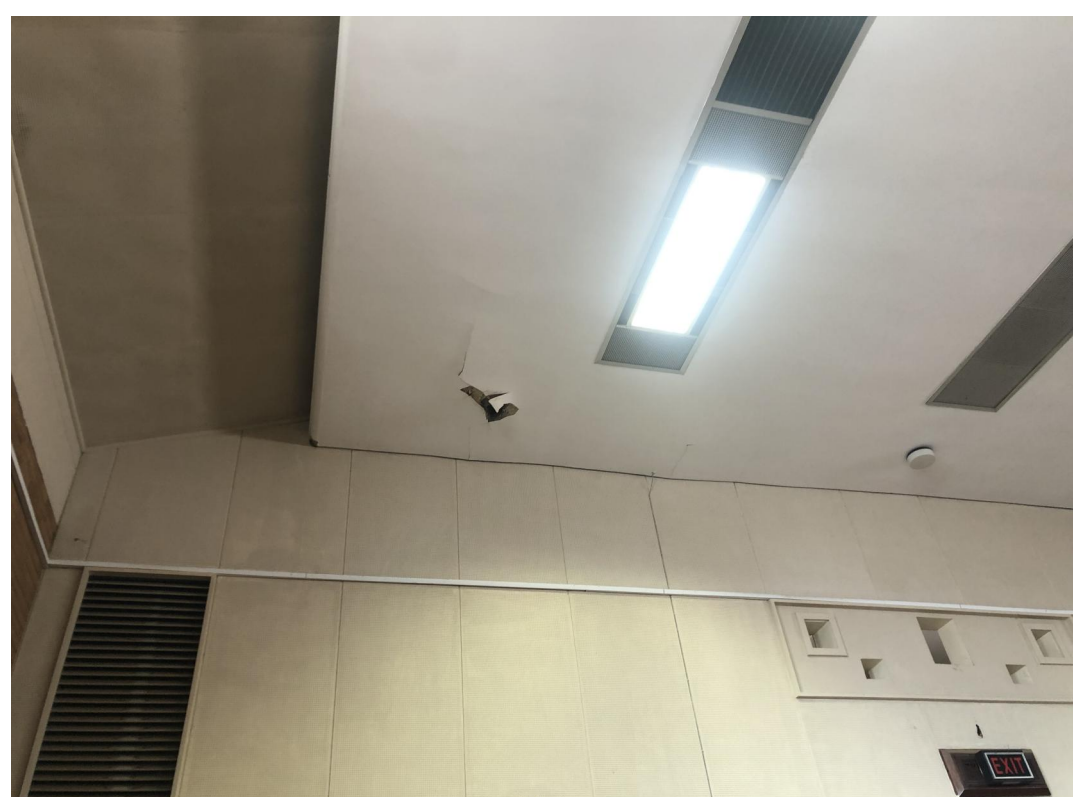
CONCRETE STEP LEADING TO HALL IS DAMAGED. REPAIR AS PER STRUCTURAL ENGINEER'S REPORT.



WALLS AND CEILINGS IN STAGE AND BACKSTAGE AREAS ARE IN A POOR CONDITION. REMOVE AND REPLACE CEILINGS TO MATCH EXISTING. INCLUDE FOR SKIMMING, PAINTING AND NEW CORNICES. ALL LIGHT AND STAGE FIXTURES AND BRACING ARE TO BE CAREFULLY REMOVED AND RE-INSTALLED ONCE CEILINGS AND WALLS ARE DONE. CHECK ROOF SHEETING FOR ANY LEAKS AND REPAIR / REPLACE IF NECESSARY.



PEELING PAINT ON CEILING IN MAIN HALL. RUB DOWN, PRIME AND REPAINT.



DAMAGE TO 6 OF THE CLADDING PANELS IN THE DINING HALL. REMOVE AND REPLACE WITH NEW TO MATCH EXISTING.



RUB DOWN AND REPAINT DOOR LEADING INTO KITCHEN.



DAMAGE TO 2 OF THE CEILING PANELS IN THE DINING HALL. REMOVE AND REPLACE WITH NEW TO MATCH EXISTING.

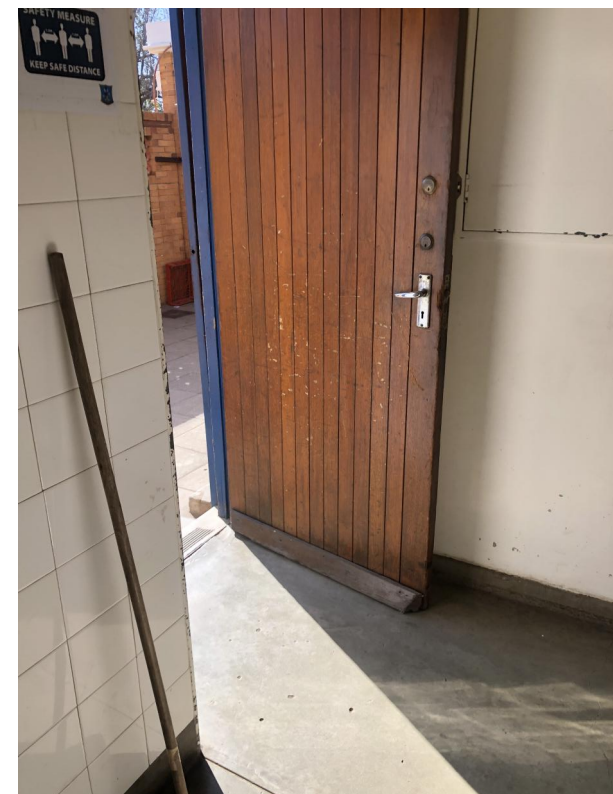


REPLACE 1 x WHB IN KITCHEN

Remove and replace 1 x WHB in kitchen with: Lecico H-Line 55cm wall-hung basin. Colour: white. Code: HLIBASWHU1550UE. Fitted with 2 x Cobra star pillar taps and all associated plumbing fixtures / brackets etc.



RUB DOWN AND RE-VARNISH DOOR LEADING INTO KITCHEN PASSAGE.



- NOTES:**
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
 2. Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
 3. Do not scale this drawing.
 4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

| Rev No. | Date | Description | Rev By |
|---------|----------|-------------------------------|--------|
| A | 11/07/23 | For Information Purposes Only | MM |

Architect :

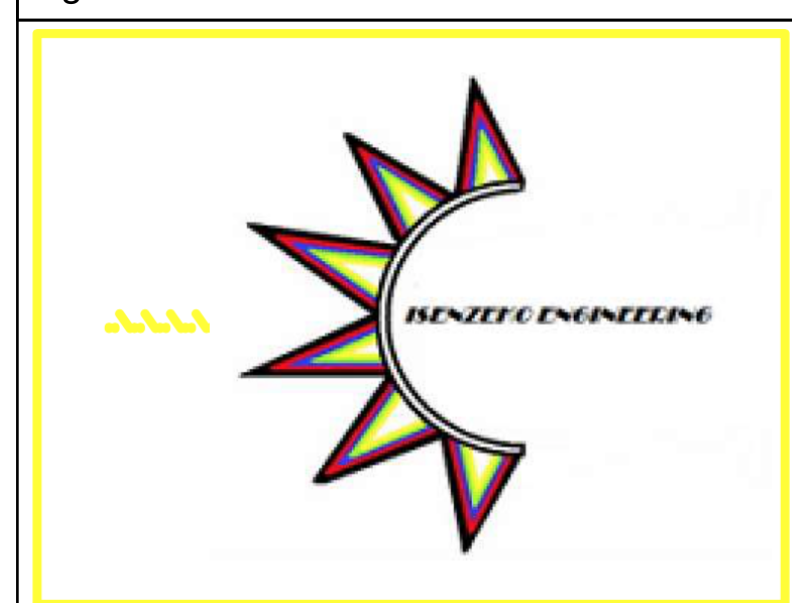
Name :

Signature :

Client :

Name :

Signature :



Project:
CONDITION ASSESSMENT
HTS WELKOM SCHOOL

Drawing description:
EXISTING BUILDINGS
REFURBISHMENT SCOPE OF WORKS

Drawn:
ISENKENO ENGINEERING

Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number:
082-HTSWEL-106

Revision:
A