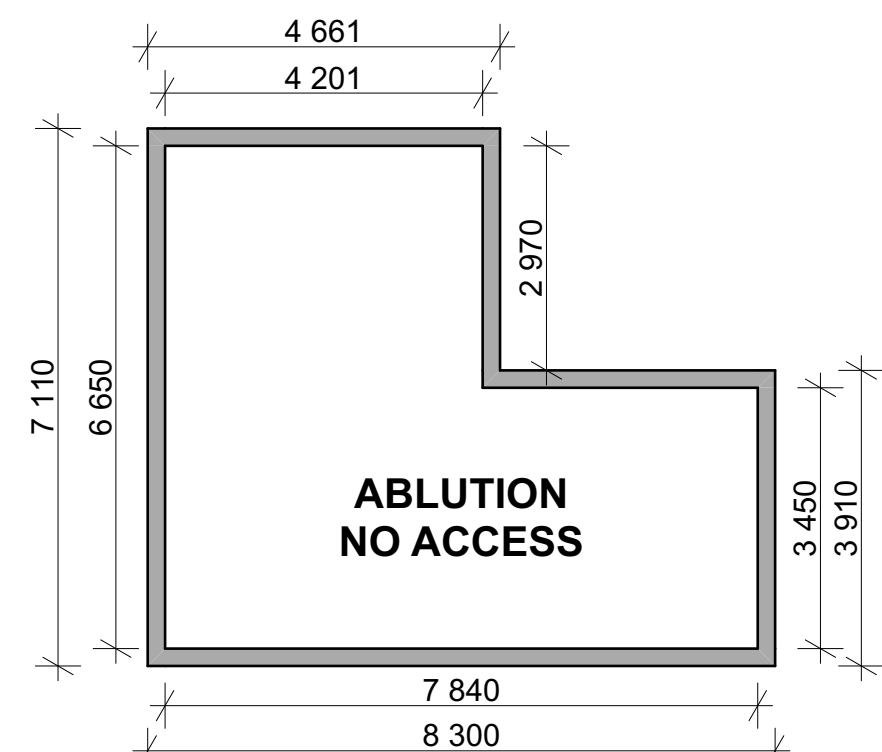
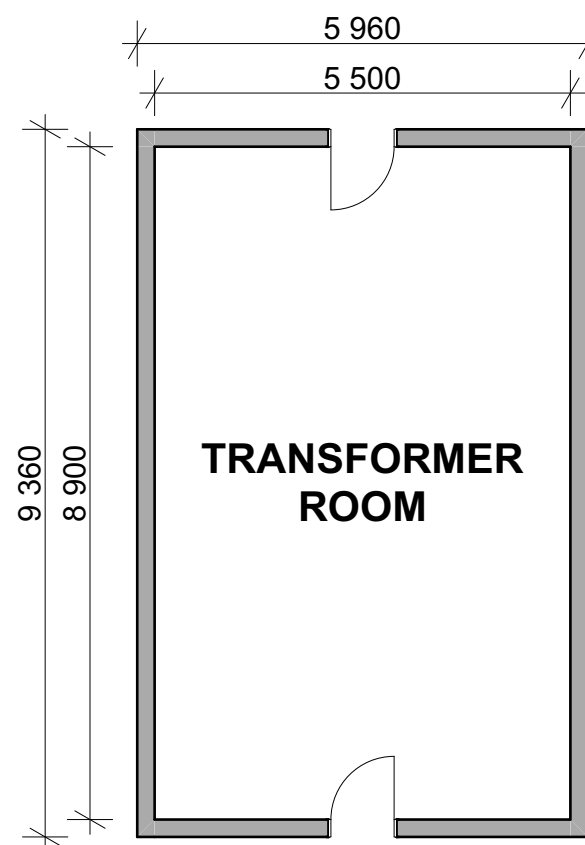


**BLOCK AB - WORKSHOPS
FLOOR PLAN - SCALE 1:100**



**BLOCK O1 - TOILETS
FLOOR PLAN - SCALE 1:100**

BLOCK O1 - COMBINED ABLUTIONS: Scope of Works
NO ACCESS FOR ASSESSMENT.



**BLOCK AG - TRANSFORMER
ROOM FLOOR PLAN - SCALE
1:100**

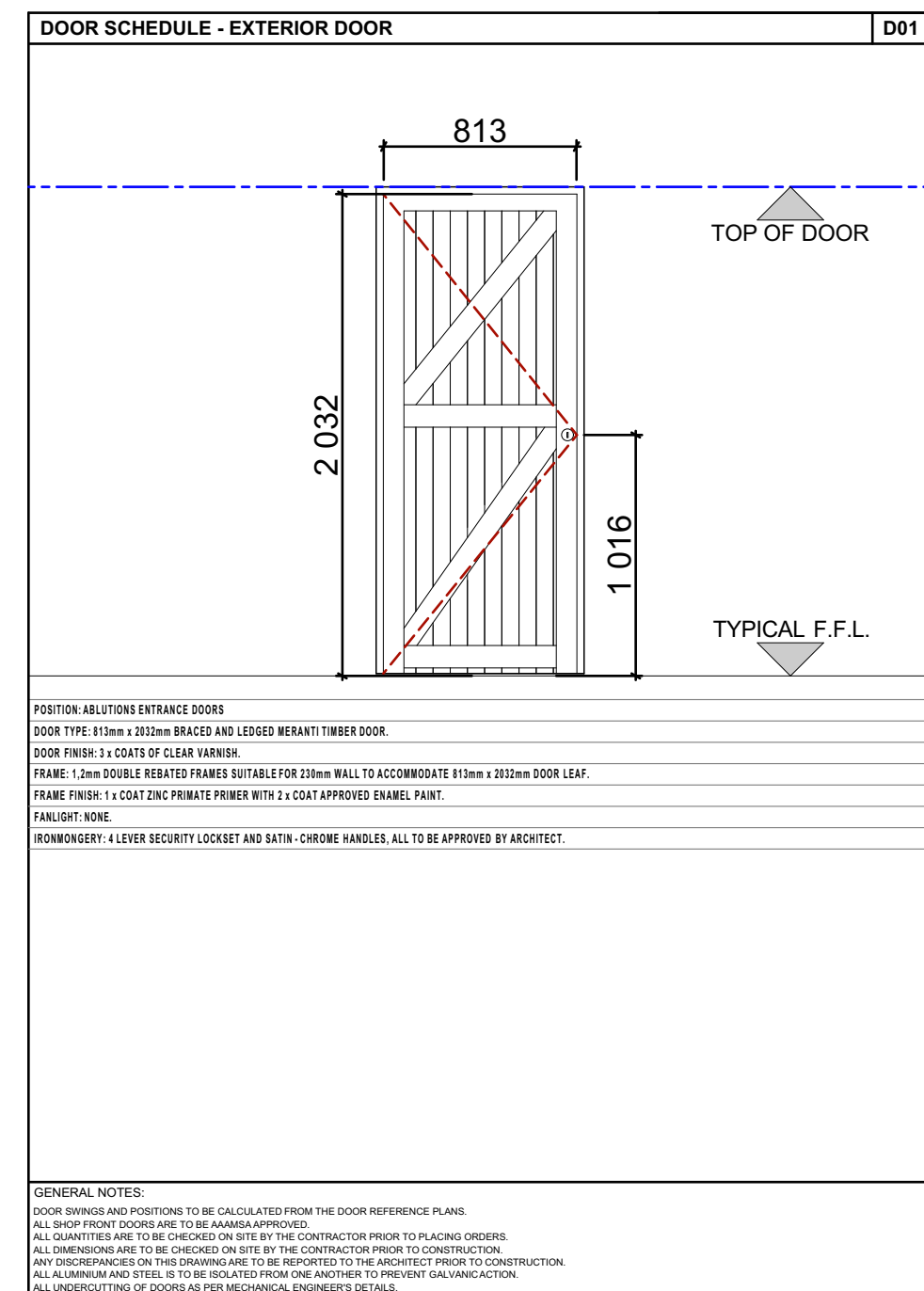
BLOCK AG: Scope of Works

- Cracks noted on external walls, refer to Structural Engineer's report for repair. Once repair work is done, prime and repaint.
- External paintwork in a poor condition, rub down walls, prime and repaint. REFER TO IMAGE BELOW.
- Remove and replace 2 x damaged entrance doors. REFER TO SPEC BELOW.
- No access into internal space for assessment.
- Roof slab to be inspected for damage and repaired or waterproofed if required.

REPLACE 2 x ENTRANCE DOORS

**REPLACE WALL TILES IN ABLUTIONS: REMOVE
EXISTING WALL TILES, ADDRESS ISSUES OF DAMP
AND RE-WATERPROOF. INSTALL NEW 200 x 200
JOHNSON GLOSS WALL TILES 12 ROWS HIGH ALL
AROUND ABLUTIONS.**

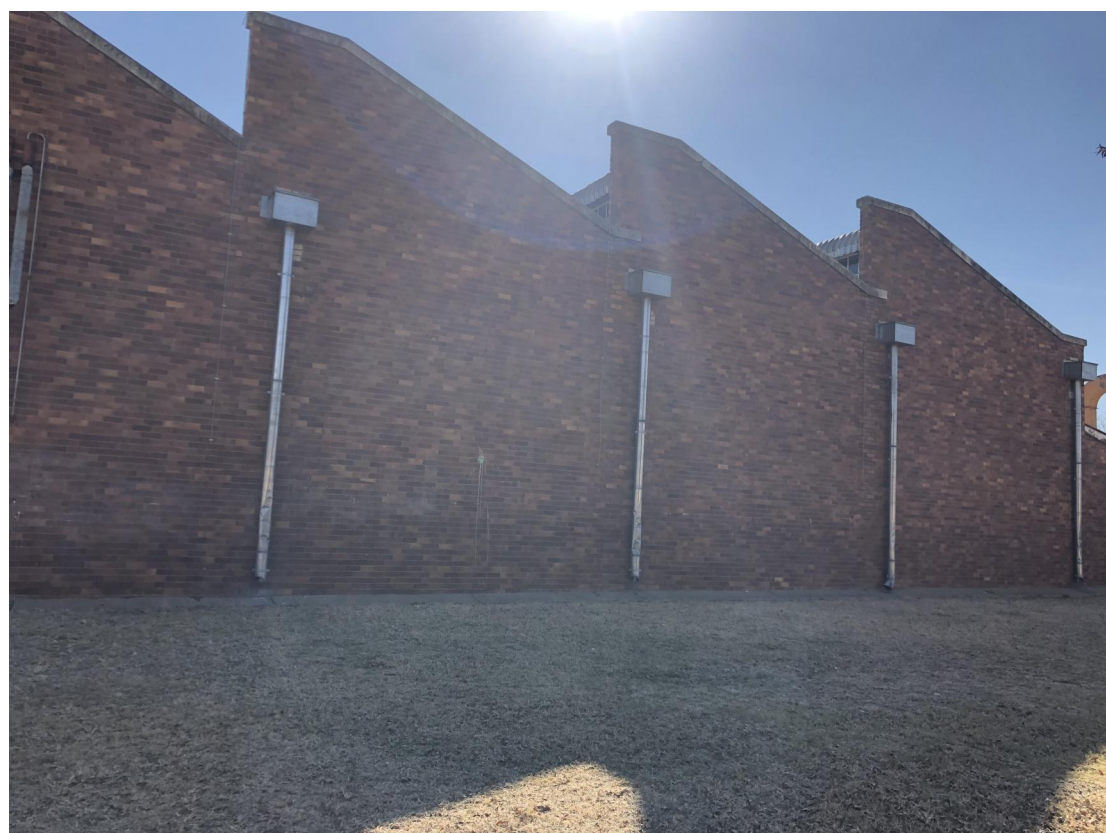
REPLACE ENTRANCE DOORS TO ABLUTIONS:



**ONCE WATERPROOFING AND RESEALING IS
COMPLETE, RUB DOWN EDGES OF RC ROOF SLAB,
PRIME AND REPAINT.**



**PARAPET COPING OF SAWTOOTH ROOF IN A POOR
CONDITION. RECOMMEND CLOSER INSPECTION TO
DETERMINE ISSUE. RECOMMEND RUBBING DOWN,
PRIMING AND REPAINTING.**



WINDOW SCHEDULE:

- T1: W:1400mm x H:600mm**
T2: W:1550mm x H:1800mm
T3: W:2470mm x H:1000mm
T4: W:1800mm x H:1200mm
T5: W:1800mm x H:650mm
T6: W:650mm x H:650mm
T7: W:1800mm x H:1200mm
T8: W:1800mm x H:650mm

**T9: 5000mm x 54250mm
THIS IS A HIGH LEVEL
WINDOW ALONG THE
ENTIRE LENGTH OF
THE BUILDING. THE
SIZE IS AN ESTIMATE.**

**T10:
THIS IS A HIGH LEVEL
WINDOW ALONG THE
ENTIRE LENGTH OF
THE BUILDING. COULD
NOT ESTIMATE THE
SIZE.**

BLOCK AB - WORKSHOP: Scope of Works

- Office in workshop paintwork in a poor condition and cracks noted. Walls to be rubbed down, primed and repainted. Water damage to walls - leaks / damp to be located and addressed. REFER TO IMAGE BELOW.
- Bricked up door in storeroom to be plastered and painted to match existing walls. REFER TO IMAGE BELOW.
- Office in workshop: yellow timber stable door to be rubbed down and repainted. REFER TO IMAGE BELOW.
- Offices in workshop: water damage to ceilings - ceilings to be removed and replaced with new to match. REFER TO IMAGE BELOW.
- Sisalation is damaged at various points - recommend replacing with new. Roof to be checked for any leaks / damage and to be repaired. REFER TO IMAGES BELOW.
- Roof slab over passage / offices & ablutions is showing water damage - roof slab to be inspected for damage and to be resealed / re-waterproofed as per Structural Engineer's report. REFER TO IMAGES BELOW.
- Underside of slab (ablutions, offices and passage) to be rubbed down, primed and repainted. All light fittings are to be inspected for water damage and replaced if required. Edging along underside of slab to be removed and replaced with new. REFER TO IMAGES BELOW.
- Extensive damp and water damage to internal walls of ablutions - address leaks and waterproof walls. Rub down paint, prime and repaint.
- Internal walls tiles in ablutions to be removed and replaced with new to match. REFER TO SPEC BELOW.
- Cracked glazing in ablutions to be removed and replaced with new to match. REFER TO IMAGE BELOW.
- Recommend installing vinyl film to ablution windows.
- Extensive structural damage to floors in ablutions to be repaired as per Structural Engineer's report.
- Could not gain access to the other half of the ablutions / changerooms.
- Timber entrance doors to ablutions to be removed and replaced with new. REFER TO DETAIL BELOW.
- Timber slatted walls of office in workshop is rotting and damaged - recommend replacing timber slats with new to match.
- Corrosion to window frames, sand off as much rust as possible, apply rust inhibiting primer to restore the steel, prime and paint. Where it cannot be restored, to be replaced with new to match existing.
- Parapet capping of sawtooth roof is in a poor condition - recommend closer inspection to determine issue and make good. REFER TO IMAGE BELOW.
- No access into some of the offices & workshop for assessment.
- Existing gate within ablutions to be rubbed down, primed and repainted.

**EX. RC ROOF SLAB IS SHOWING SIGNS OF DAMP AND
LEAKING. SLAB TO BE RESEALED / RE-
WATERPROOFED. U/S OF SLAB OVER PASSAGE,
OFFICES AND ABLUTIONS TO BE RUBBED DOWN,
PRIMED AND REPAINTED.**



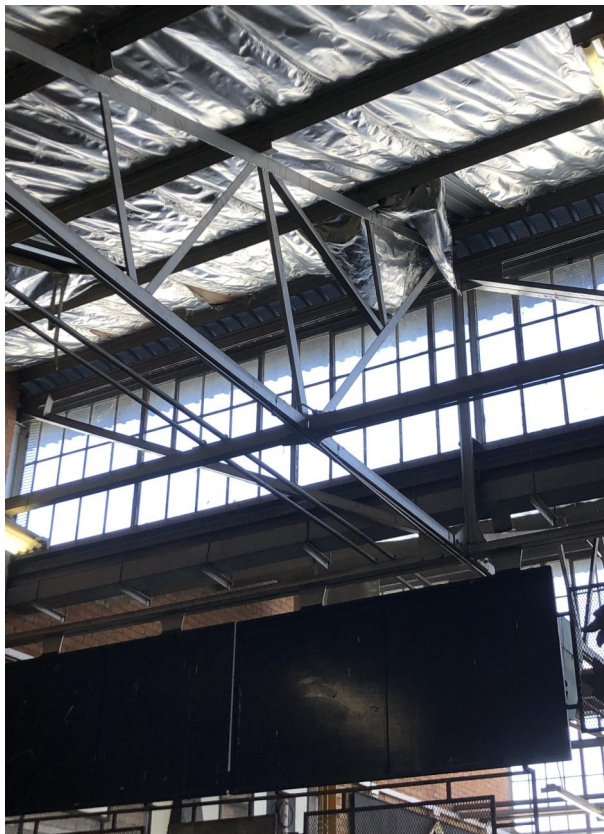
**RUB DOWN EX. GATE, PRIME
AND REPAINT**



**REMOVE AND REPLACE SLATTED
TIMBER WALLS, WINDOWS AND DOORS
OF OFFICE.**



**REPLACE BROKEN GLAZING IN
ABLUTION WITH NEW TO MATCH
EXISTING.**



**INTERNAL WALLS OF OFFICE TO BE RUBBED
DOWN, PRIMED AND REPAINTED.**



**BRICKED UP DOOR TO BE PLASTERED AND
PAINTED.**



**OFFICE ENTRANCE DOOR TO BE RUBBED
DOWN, PRIMED AND REPAINTED.**



**EXISTING CEILING TO BE REMOVED AND
REPLACED WITH NEW TO MATCH EXISTING.**



**SISALATION IS DAMAGED IN VARIOUS SPOTS.
RECOMMEND REPLACING WITH NEW TO
MATCH EXISTING.**



NOTES:

- All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
- Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
- Do not scale this drawing.
- For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Revisions:

Rev No.	Date	Description	Rev By
A	11/07/23	For Information Purposes Only	MM

Architect :

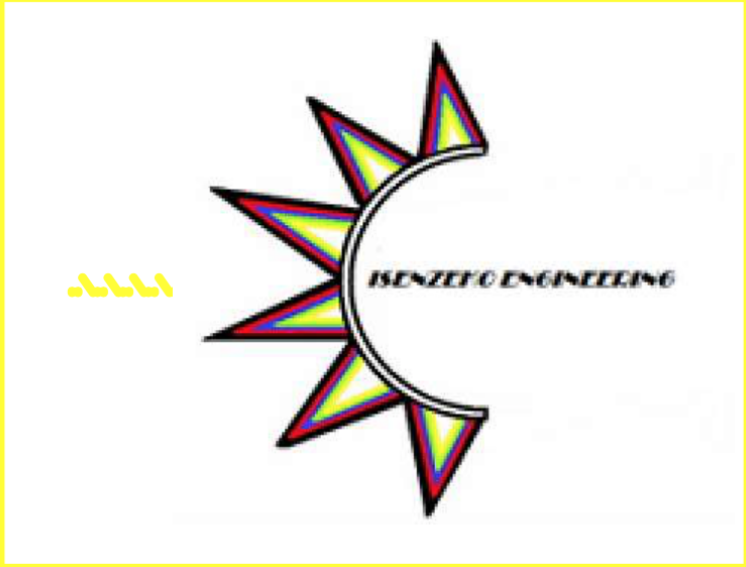
Name :

Signature :

Client :

Name :

Signature :



Project:

**CONDITION ASSESSMENT
HTS WELKOM SCHOOL**

Drawing description:

**EXISTING BUILDINGS
REFURBISHMENT SCOPE OF WORKS**

Drawn:

ISENZEKO ENGINEERING

(A)

Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number:

082-HTSWEL-109

Revision:

A