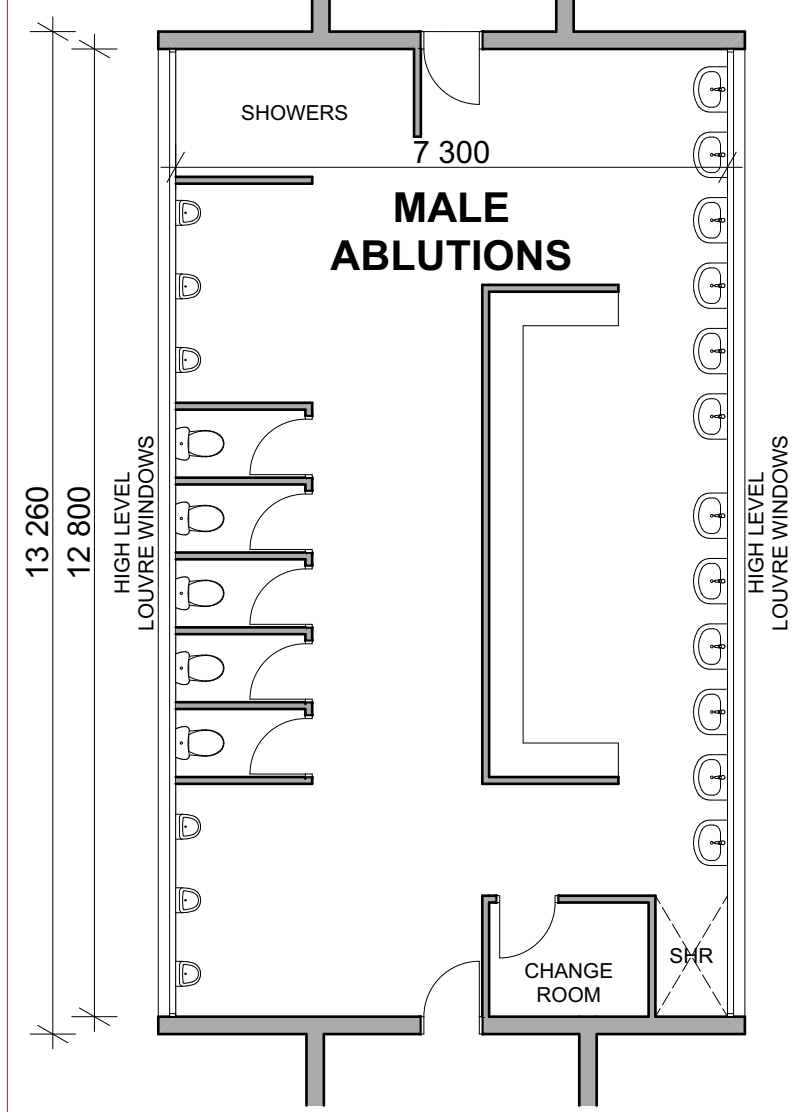
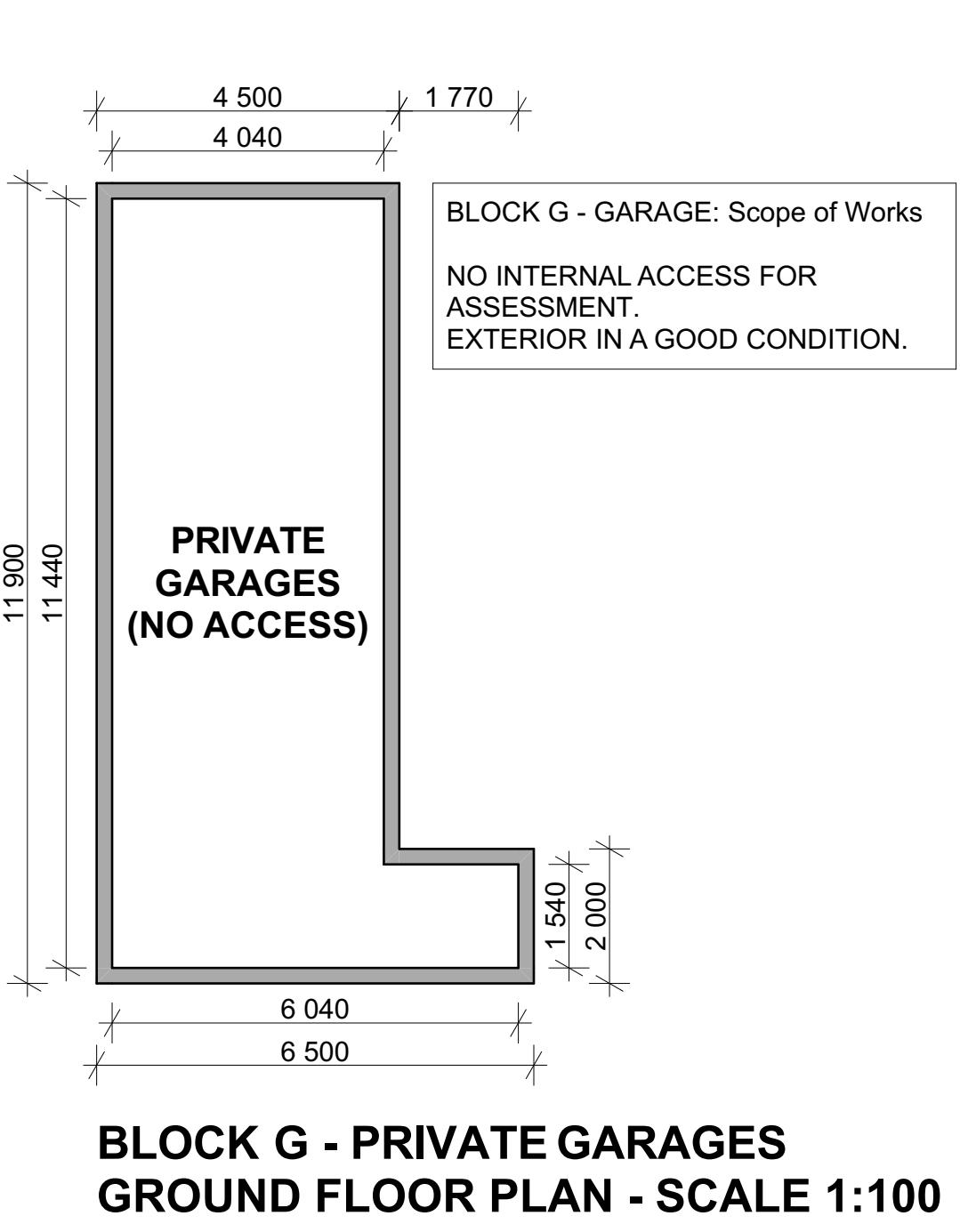
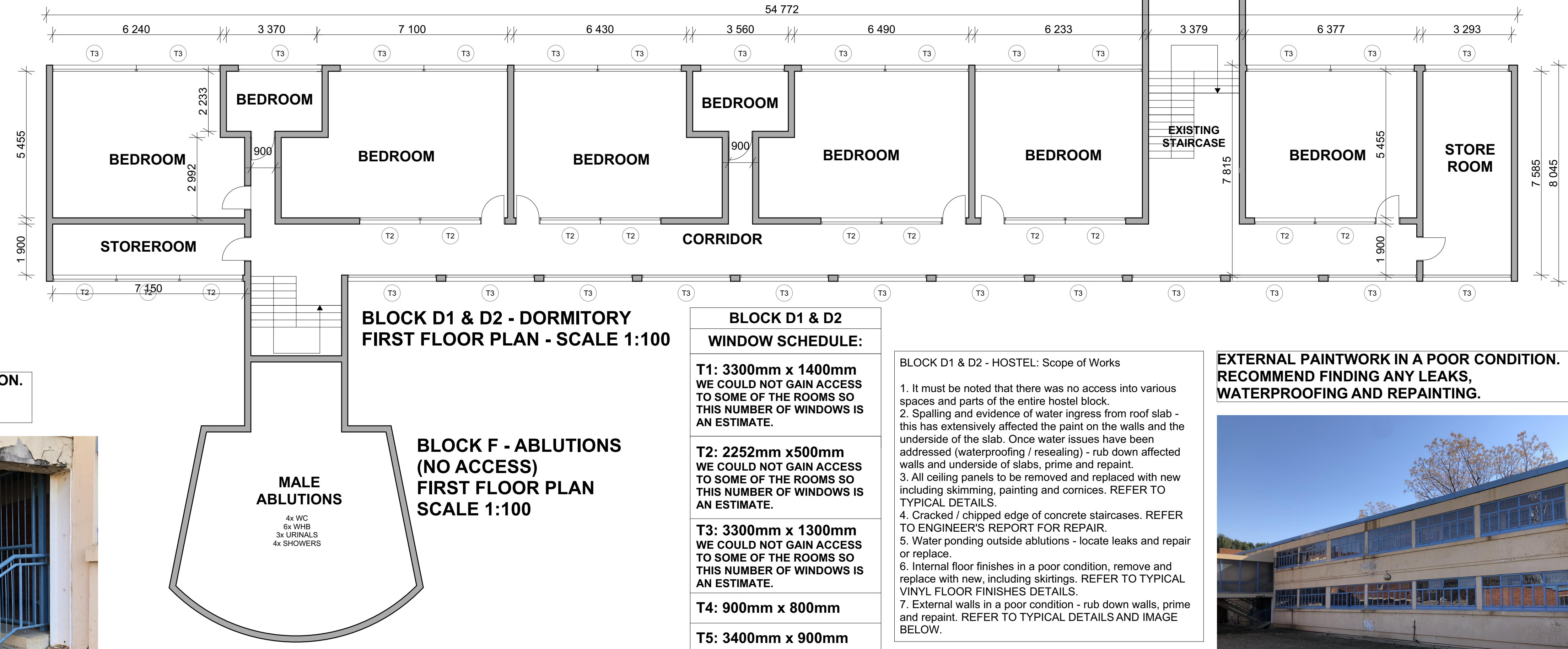
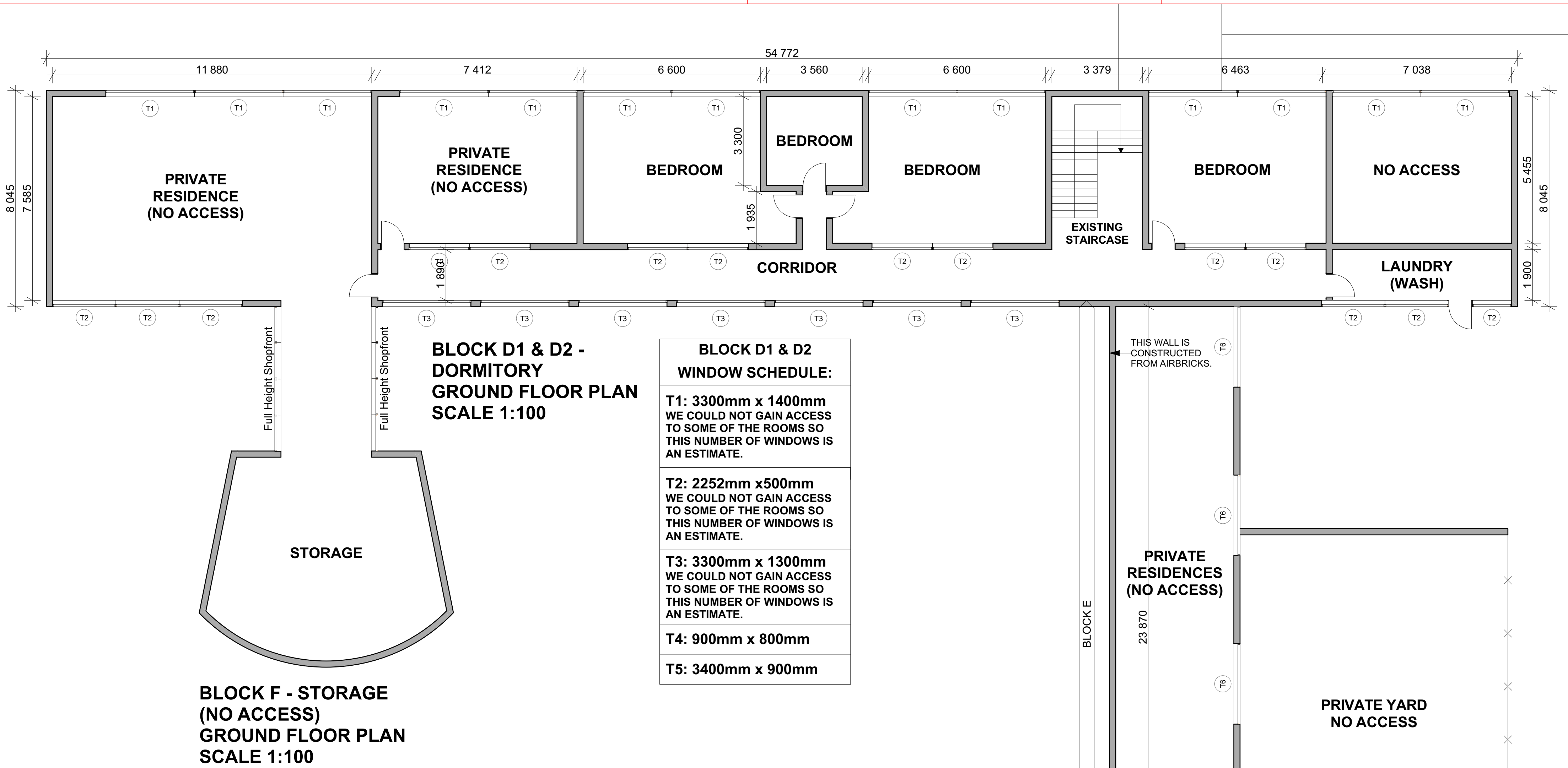
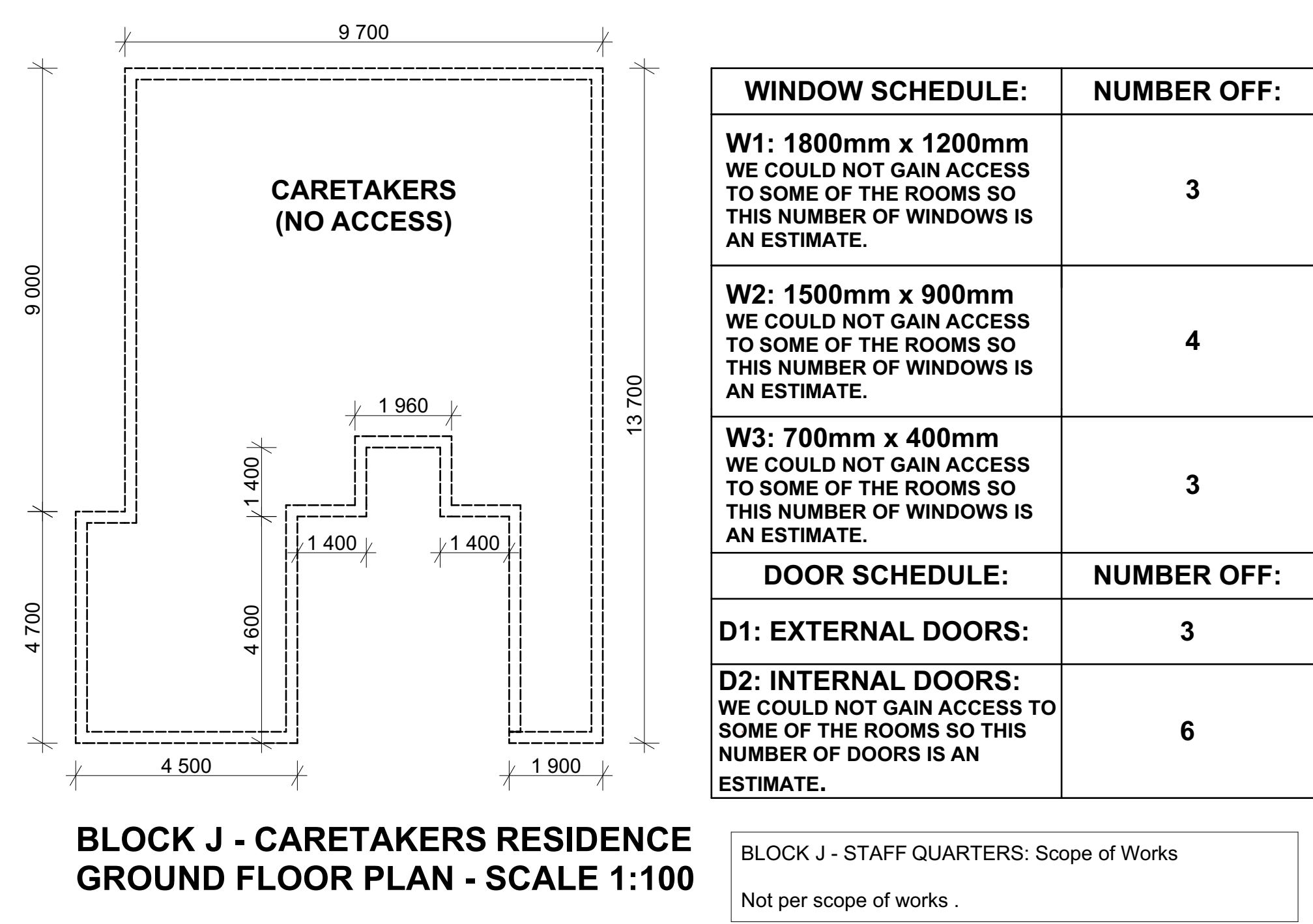


BLOCK F - ABLUTIONS(FIRST FLOOR) & STORAGE (GROUND FLOOR): Scope of Works

NO INTERNAL ACCESS FOR ASSESSMENT.
EXTERIOR: Refer to Engineer's report for assessment.
1. Damage to brickwork - refer to Engineer's report for replacement.
2. Missing brickwork - replace with new to match existing. REFER TO IMAGE BELOW.

EXTERNAL PAINTWORK IN A POOR CONDITION. RECOMMEND FINDING ANY LEAKS, WATERPROOFING AND REPAINTING.



BLOCK A1 - HOSTEL ABLUTIONS: Scope of Works

- Evidence of water ingress to ceilings and walls. Roof to be inspected and to be resealed / repaired / re-waterproofed accordingly.
- Remove and replace all ceiling panels with new to match including for skimming and painting and new cornices. REFER TO TYPICAL DETAILS.
- Rub down all walls, waterproof, prime and repaint. REFER TO TYPICAL DETAILS.
- Internal floor finishes in a poor condition, remove and replace with new, including skirtings. REFER TO TYPICAL VINYL FLOOR FINISHES DETAILS.
- Remove and replace all damaged sanware fittings with new. REFER TO SPECS BELOW.
- Remove and replace all damaged wall tiles with new. REFER TO SPECS BELOW.
- Extensive leaks noted - recommend for all plumbing to be checked and repaired / replaced if required.
- Water ponding outside ablutions - locate leaks and repair or replace. REFER TO IMAGE BELOW.
- Replace 1 x cracked window glazing outside ablutions. REFER TO IMAGE BELOW.

WATER PONDING OUTSIDE ABLUTIONS. LOCATE LEAK AND REPAIR.



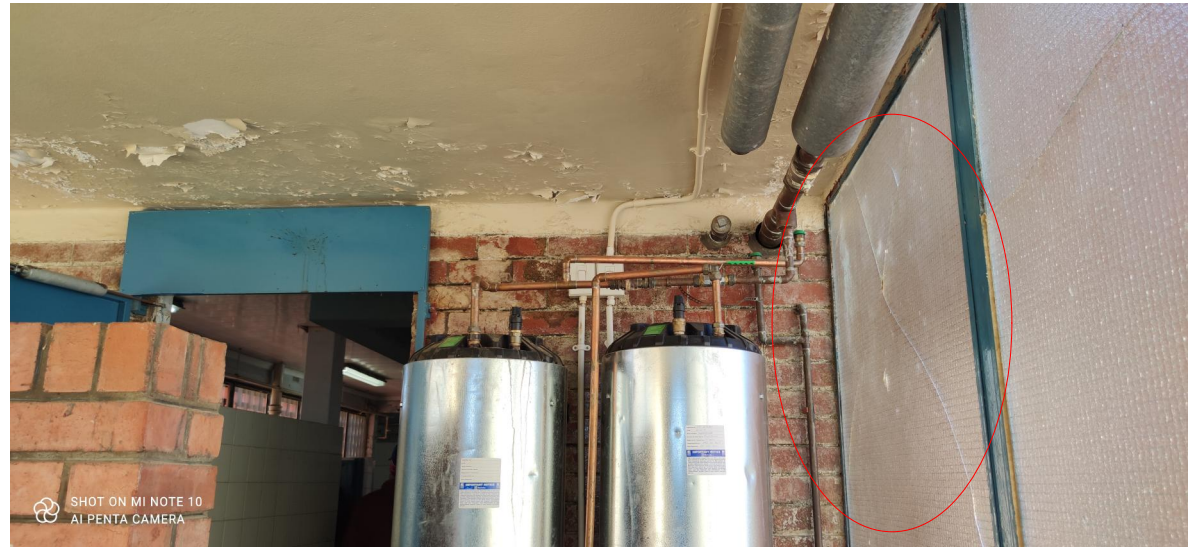
ALL INTERNAL CEILINGS ARE TO BE REMOVED AND REPLACED WITH NEW.



ALL INTERNAL WALLS AND BEAMS ARE TO BE RUBBED DOWN, RESEALED / RE-WATERPROOFED, PRIMED AND REPAINTED.



REPLACED CRACKED WINDOW GLAZING WITH NEW TO MATCH EXISTING.



NOTES:

- All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
- Partial Service: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
- Do not scale this drawing.
- For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Revisions:			Rev By:
Rev No:	Date:	Description:	
A	11/07/23	For Information Purposes Only	MM

Architect :

Name :

Signature :

Client :

Name :

Signature :



Project:

CONDITION ASSESSMENT
HTS WELKOM HOSTEL

Drawing description:

EXISTING BUILDINGS
REFURBISHMENT SCOPE OF WORKS

Drawn:

ISENZEKO ENGINEERING

(A)

Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number:

082-HTSWEL-112

Revision:

A