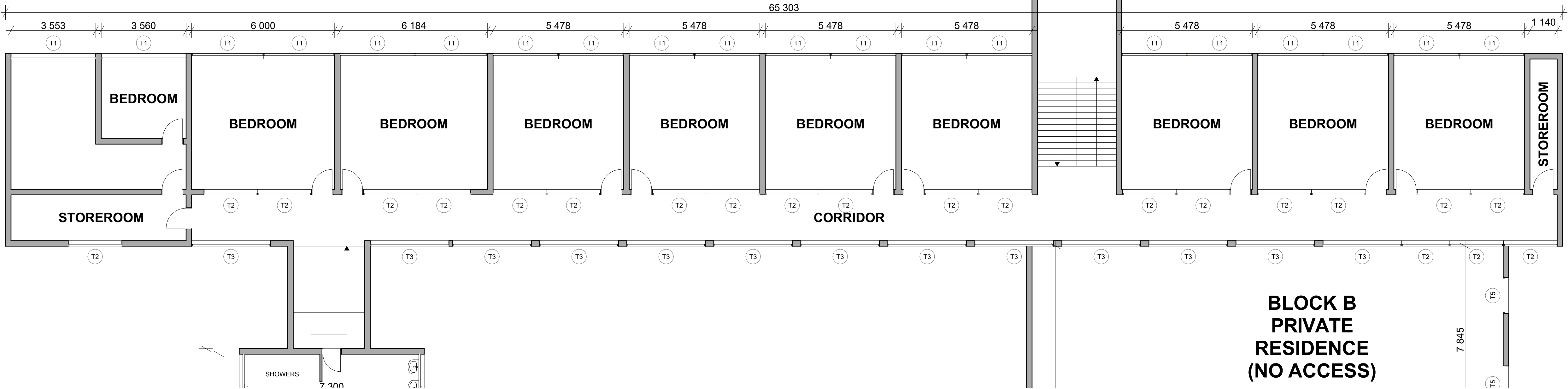


BLOCK A1 & A2 - DORMITORY  
GROUND FLOOR PLAN  
SCALE 1:100

BLOCK A1 & A2 - DORMITORY  
FIRST FLOOR PLAN - SCALE 1:100



- BLOCK A1 & A2 - HOSTEL: Scope of Works
1. It must be noted that there was no access into various spaces and parts of the entire hostel block.
  2. Spalling and evidence of water ingress from roof slab - this has extensively affected the paint on the walls and the underside of the slab. Once water issues have been addressed (waterproofing / resealing) - rub down all internal walls and underside of slabs, prime and repaint. REFER TO TYPICAL DETAILS.
  3. All internal ceiling panels to be removed and replaced with new including skimming, painting and cornices. REFER TO TYPICAL DETAILS.
  4. Cracked / chipped edge of concrete staircases. REFER TO ENGINEER'S REPORT.
  5. Water ponding outside ablutions - locate leaks and repair or replace.
  6. All internal floor finishes in a poor condition, remove and replace with new, including skirtings. REFER TO TYPICAL VINYL FLOOR FINISHES DETAILS.
  7. External walls in a poor condition - rub down walls, prime and repaint. REFER TO TYPICAL DETAILS AND IMAGE BELOW.
  8. All window frames are deteriorating - rub down, treat for any rust found, prime and repaint. REFER TO TYPICAL DETAILS.
  9. All internal doors & door frames (both leaf and frame are metal) are to be rubbed down, primed and repainted. REFER TO TYPICAL DETAILS AND IMAGE BELOW.

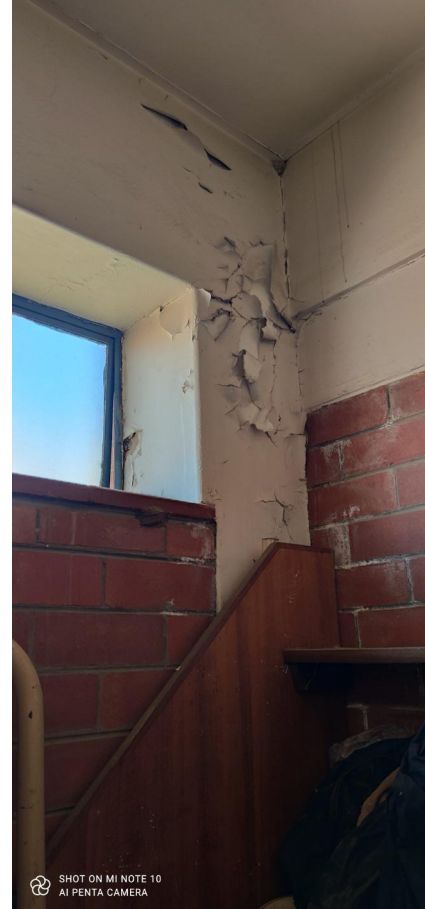
ALL WINDOWS TO BE RUBBED DOWN, TREATED FOR ANY RUST, PRIMED AND REPAINTED.



ALL DOORS TO BE RUBBED DOWN, TREATED FOR ANY RUST, PRIMED AND REPAINTED.



ALL INTERNAL WALLS TO BE RUBBED DOWN, PRIMED AND REPAINTED.



ALL INTERNAL CEILINGS AND FLOOR FINISHES TO BE REPLACED WITH NEW.



BLOCK A1 & 12  
WINDOW SCHEDULE:

T1: 3300mm x 1400mm  
WE COULD NOT GAIN ACCESS TO SOME OF THE ROOMS SO THIS NUMBER OF WINDOWS IS AN ESTIMATE.

T2: 2252mm x 500mm  
WE COULD NOT GAIN ACCESS TO SOME OF THE ROOMS SO THIS NUMBER OF WINDOWS IS AN ESTIMATE.

T3: 3300mm x 1300mm  
WE COULD NOT GAIN ACCESS TO SOME OF THE ROOMS SO THIS NUMBER OF WINDOWS IS AN ESTIMATE.

T4: 900mm x 800mm

T5: 3400mm x 900mm

BLOCK A1 & 12  
WINDOW SCHEDULE:

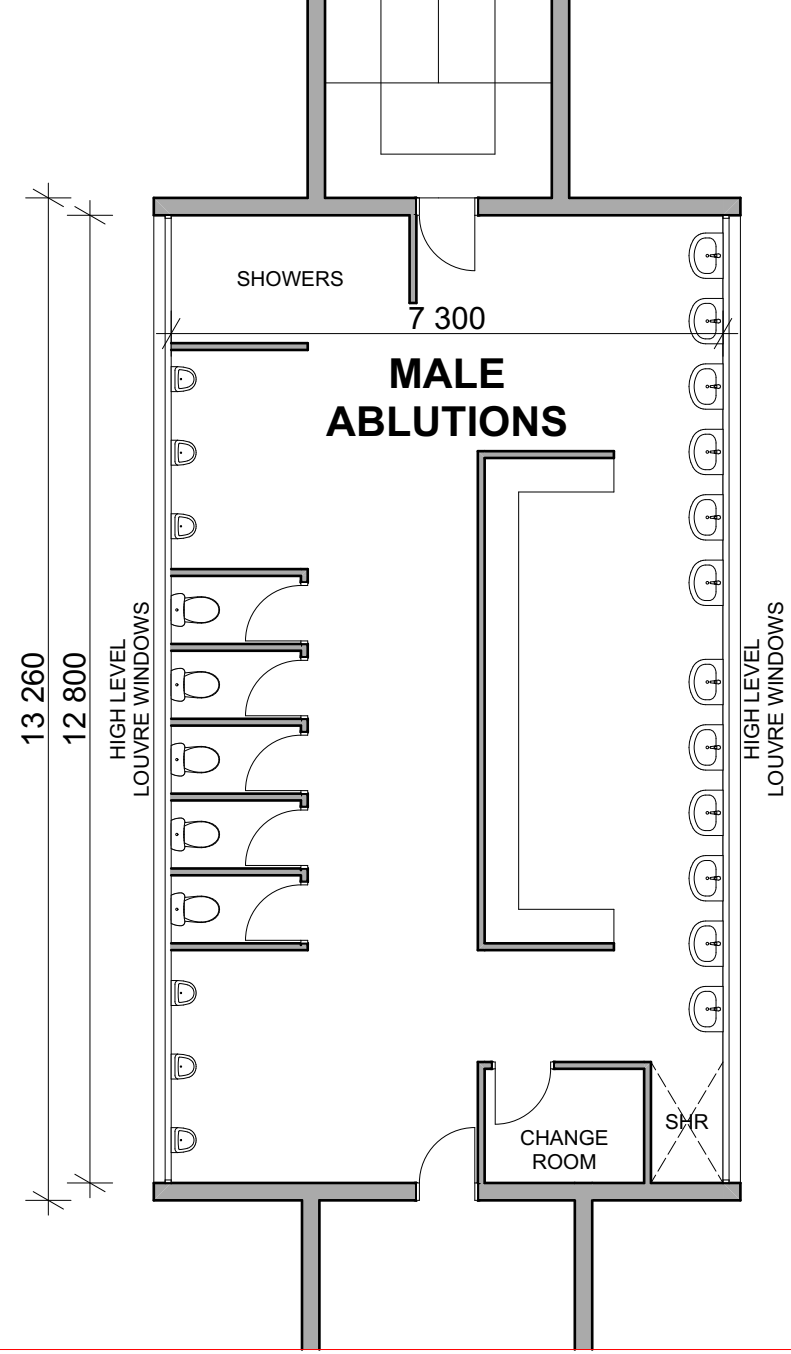
T1: 3300mm x 1400mm  
WE COULD NOT GAIN ACCESS TO SOME OF THE ROOMS SO THIS NUMBER OF WINDOWS IS AN ESTIMATE.

T2: 2252mm x 500mm  
WE COULD NOT GAIN ACCESS TO SOME OF THE ROOMS SO THIS NUMBER OF WINDOWS IS AN ESTIMATE.

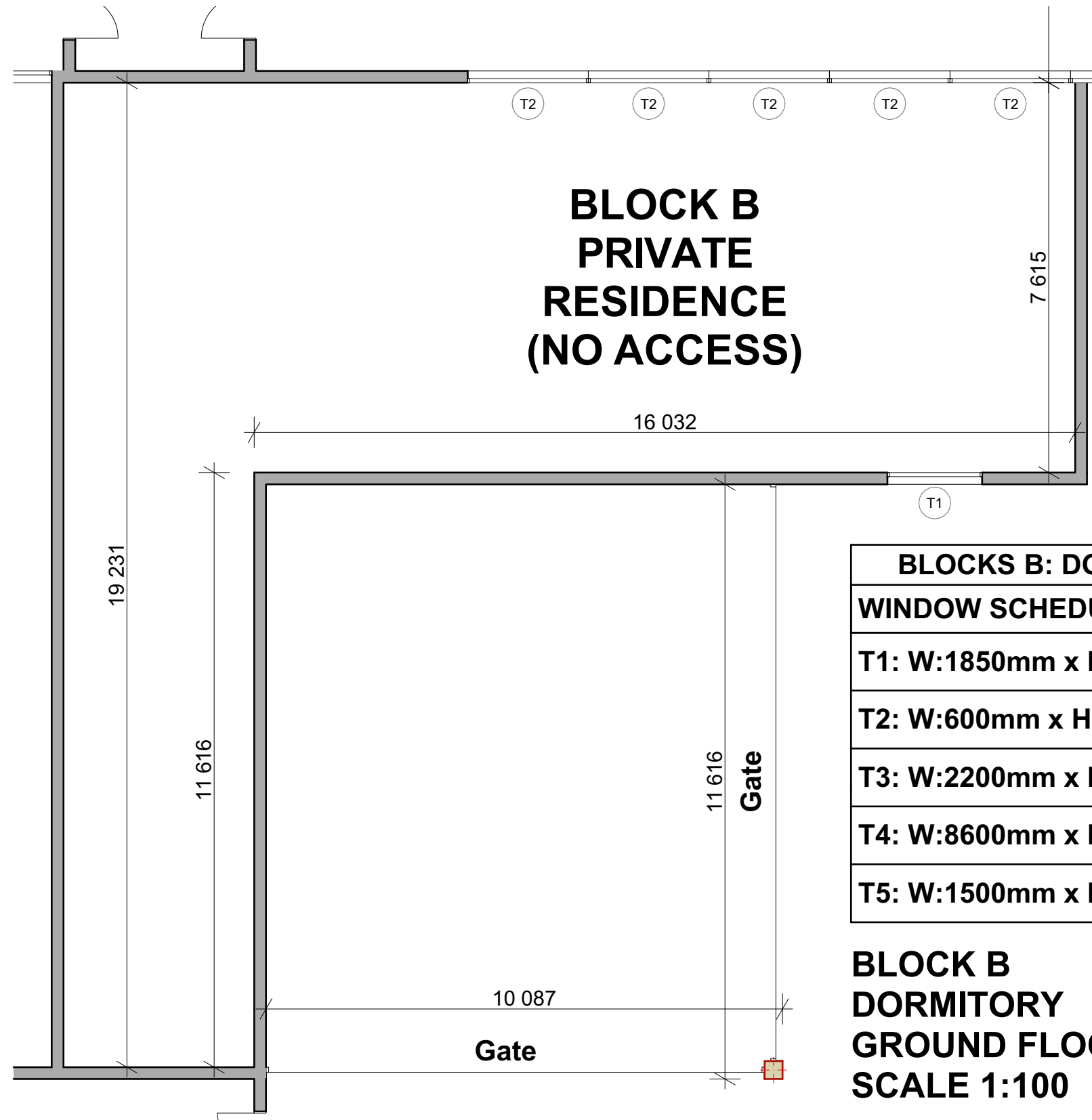
T3: 3300mm x 1300mm  
WE COULD NOT GAIN ACCESS TO SOME OF THE ROOMS SO THIS NUMBER OF WINDOWS IS AN ESTIMATE.

T4: 900mm x 800mm

T5: 3400mm x 900mm

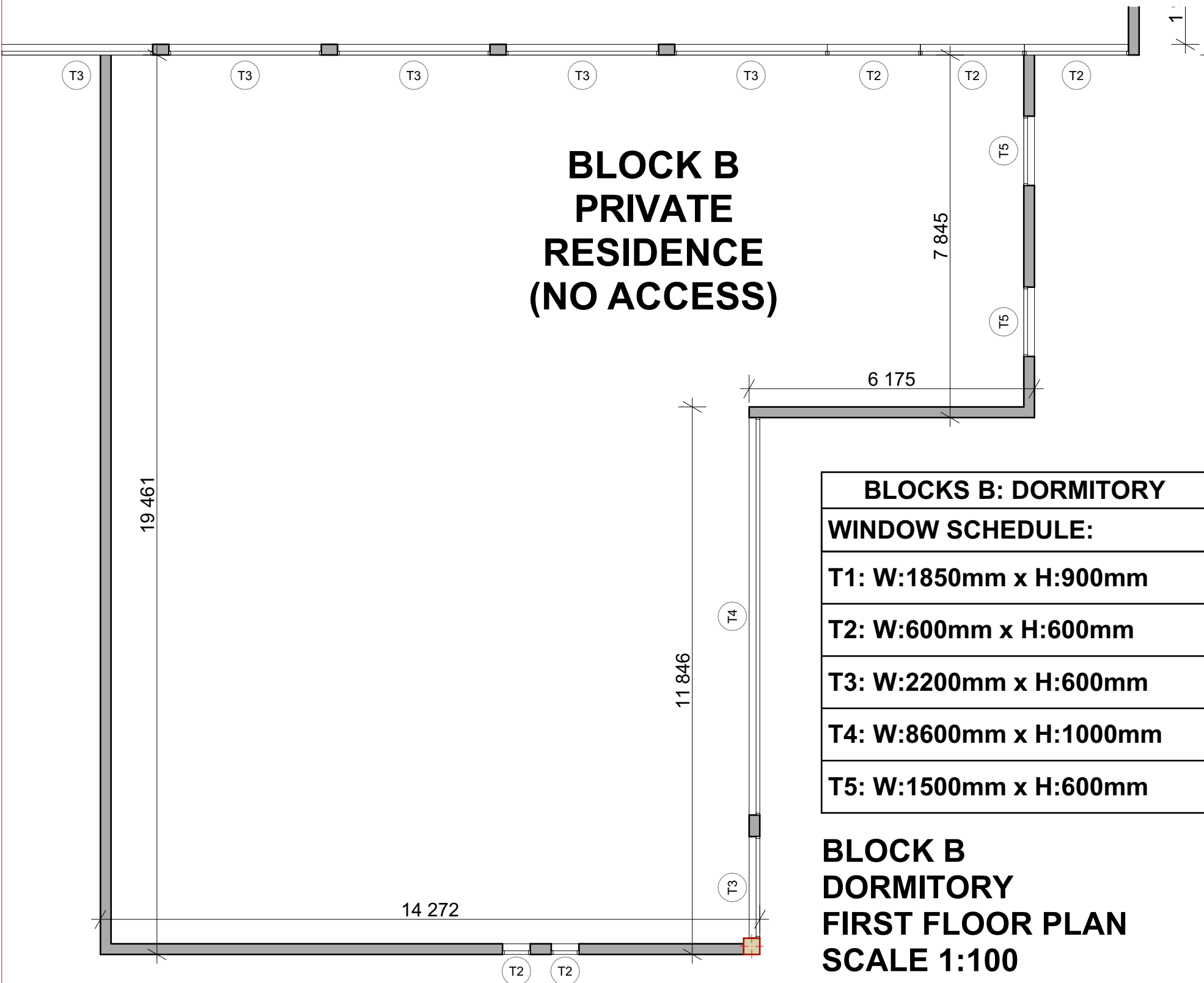


- BLOCK A1 ABLUTIONS: Scope of Works
1. Evidence of water ingress to ceilings and walls. Inspect roof for leaks and reseal / waterproof.
  2. Remove and replace all ceiling panels with new to match including for skimming and painting and new cornices. REFER TO TYPICAL DETAILS.
  3. Rub down affected walls, prime and repaint. REFER TO TYPICAL DETAILS.
  4. Internal floor finishes in a poor condition, remove and replace with new, including skirtings. REFER TO TYPICAL TILED FLOOR FINISHES DETAILS.
  5. Remove and replace all damaged sanware fittings with new.
  6. Remove and replace all damaged wall tiles with new.
  7. Extensive leaks noted - recommend for all plumbing to be checked and repaired / replaced if required.



BLOCKS B: DORMITORY WINDOW SCHEDULE:	
T1:	W:1850mm x H:900mm
T2:	W:600mm x H:600mm
T3:	W:2200mm x H:600mm
T4:	W:8600mm x H:1000mm
T5:	W:1500mm x H:600mm

BLOCK B  
DORMITORY  
GROUND FLOOR PLAN  
SCALE 1:100



BLOCKS B: DORMITORY WINDOW SCHEDULE:	
T1:	W:1850mm x H:900mm
T2:	W:600mm x H:600mm
T3:	W:2200mm x H:600mm
T4:	W:8600mm x H:1000mm
T5:	W:1500mm x H:600mm

BLOCK B  
DORMITORY  
FIRST FLOOR PLAN  
SCALE 1:100

BLOCK B: Scope of Works  
NO ACCESS FOR ASSESSMENT.

- NOTES:
1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the office of the Architect.
  2. Partial Review: Any discrepancies with site or other information is to be advised to the Architect and direction or approval is to be sought before the implementation of the detail.
  3. Do not scale this drawing.
  4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect.

Revisions:			
Rev No:	Date:	Description:	Rev By:
A	11/07/23	For Information Purposes Only	MM

Architect :

Name :

Signature :

Client :

Name :

Signature :



Project:

CONDITION ASSESSMENT  
HTS WELKOM HOSTEL

Drawing description:

EXISTING BUILDINGS  
REFURBISHMENT SCOPE OF WORKS

Drawn:

ISENZEKO ENGINEERING

AD

Scales: AS SHOWN ON DRAWING

FOR INFORMATION

Drawing Number:

082-HTSWEL-113

Revision:

A